



**Notice of a public meeting of
Planning Committee**

To: Councillors Fisher (Chair), Pavlovic (Vice-Chair), Ayre, Barker, D'Agorne, Daubeney, Doughty, Douglas, Fenton, Hollyer, Warters, Lomas, Looker, Melly and Waudby

Date: Thursday, 1 July 2021

Time: 4.30 pm

Venue: York Racecourse

AGENDA

1. Declarations of Interest

At this point in the meeting, Members are asked to declare:

- any personal interests not included on the Register of Interests
- any prejudicial interests or
- any disclosable pecuniary interests

which they may have in respect of business on this agenda.

2. Public Participation

At this point in the meeting members of the public who have registered to speak can do so. Members of the public may speak on agenda items or on matters within the remit of the committee.

Please note that our registration deadlines have changed to 2 working days before the meeting, in order to facilitate the management of public participation at remote meetings. The deadline for registering at this meeting is **5:00pm on Tuesday 29 June 2021.**

To register to speak please visit www.york.gov.uk/AttendCouncilMeetings to fill in an online registration form. If you have any questions about the registration form or the meeting, please contact Democratic Services. Contact details can be found at the foot of this agenda.

Webcasting of Public Meetings

Please note that, subject to available resources, this meeting will be webcast, including any registered public speakers who have given their permission. The meeting can be viewed live and on demand at www.york.gov.uk/webcasts.

During coronavirus, we've made some changes to how we're running council meetings. See our coronavirus updates (www.york.gov.uk/COVIDDemocracy) for more information on meetings and decisions.

3. Plans List

This item invites Members to determine the following planning applications:

a) Land Comprising Field West of Askham Bryan College, York Road to Westfield Cottages, Askham Bryan, York [20/01923/FULM]

(Pages 3 - 40)

Erection of 2 no. cattle buildings, 1 no. hay/straw storage building, 1 no. enclosure, 2 no. tanks, and hardstanding for use as a beef rearing unit [Rural West York Ward]

b) Land to the South of Northminster Business Park, Harwood Road, Upper Poppleton, York [21/00796/FULM] (Pages 41 - 78)

Erection of distribution facility (use class B8) including formation of vehicle access onto Glaisdale Road [Rural West York Ward]

4. Urgent Business

Any other business which the Chair considers urgent under the Local Government Act 1972.

Democracy Officer

Angela Bielby

Contact details:

- Telephone: 01904 552599
- Email: a.bielby@york.gov.uk

For more information about any of the following please contact the Democracy Officer responsible for servicing this meeting:

- Registering to speak
- Business of the meeting
- Any special arrangements
- Copies of reports and
- For receiving reports in other formats

Contact details are set out above.

This information can be provided in your own language.

我們也用您們的語言提供這個信息 (Cantonese)

এই তথ্য আপনার নিজের ভাষায় দেয়া যেতে পারে। (Bengali)

Ta informacja może być dostarczona w twoim własnym języku. (Polish)

Bu bilgiyi kendi dilinizde almanız mümkündür. (Turkish)

یہ معلومات آپ کی اپنی زبان (بولی) میں بھی مہیا کی جا سکتی ہیں۔ (Urdu)

 (01904) 551550

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Windows must remain open within the meeting room to maintain good ventilation.

Furniture must not be moved from the designated safe layout.

If you're displaying possible coronavirus symptoms (or anyone in your household is displaying symptoms), you must follow government self-isolation guidance and must NOT attend your meeting at West Offices or other venues.

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You must:

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- Wear a face covering when entering the building and at all times, except when addressing the Committee (i.e. public speaking, Officer responding to a question, Member speaking during to the Committee)
- If you do have cause to remove your face covering to speak, please ensure that you use hand sanitiser or wash your hands before replacing your face covering
- Visitors to enter West Offices by the customer entrance and Councillors to enter using the staff entrance only.
- Ensure your ID / visitors pass is clearly visible at all times
- Use the touchless hand sanitiser units on entry and exit to the building and within the Meeting room.
- Keep to the left and adhere to social distancing where possible when using staircases and walkways, giving way on the staircase landings

- You must sit at the dedicated spaces around the table and if screens are in place do not move them or lean around them.
- Bring your own drink if required
- Maintain social distancing of 2 metres within toilet areas and remain vigilant for other occupants
- Only use the designated toilets next to the Meeting room

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You should also:

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- Continue to observe social distancing
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If you receive a positive test result, or if you develop any symptoms before the meeting is due to take place, **you must not attend the meeting.**

COMMITTEE REPORT

Date:
Team: West Area
Ward: Rural West York
Parish: Askham Bryan Parish Council

Reference: 20/01923/FULM
Application at: Land Comprising Field West Of Askham Bryan College York Road To Westfield Cottages Askham Bryan York
For: Erection of 2 no. cattle buildings, 1 no. hay/straw storage building, 1 no. enclosure, 2 no. tanks, and hardstanding for use as a beef rearing unit

By: Askham Bryan College
Application Type: Major Full Application
Target Date: 15 April 2021
Recommendation: Approve after referral to Sec. of State

1.0 PROPOSAL

1.1 Planning permission is sought for the following:

- Calf House, to accommodate 50 cattle. The building would measure 10.3 metres by 25 metres (257.5sqm) and would be 5.04 metres in height. The building would be concrete panels with timber cladding above, and with a mineral fibre roof, the building would be open to the east elevation.
- Grower Building, to accommodate 80 no. cattle. The building would measure 23.6m x 25.2m (594.72sqm), with an eaves height of 4m and a ridge at 7.3m. The building would be concrete panels with timber cladding above to the west and east elevations, and with a mineral fibre roof. The north and south elevations would be ventilation screens with timber cladding above
- Straw Barn would measure 12 metres by 22 metres (264sqm), and 6.2 metres in height. The barn would be open to the north and east elevations and would be timber cladding to the south and west elevations, with a mineral fibre roof.
- The concrete panel Manure Storage area, measuring 14 metres by 6 metres (84sqm) , and 3 metres in height would be to the north of the proposed development
- The circular galvanised steel water tank would be 9.14 metres in diameter and 3.04 metres in height (65.6sqm)
- Rainwater harvesting tank would be 2.7 metres in diameter and 4.48 metres in height

- Concrete Hardstanding
- Surface Water Pond, oval in shape the pond would be 15.35 metres in length and 10.1 metres in width, max 1.4 metres deep.

1.2 The existing dairy unit and heifer sheds sit on a ridge of land to the south of the application site. From this ridge the land gently slopes down to the north. The land is currently a field and the application site is adjacent to the existing Beef Unit which to the west of the Public Right of Way and access road. There are 4 no. dwellings to the south east (within the college campus) of the application site (approx. 50 metres). The dwellings provide accommodation for teaching staff employed by the College. There is an existing access track to the east of the dwellings, car park and existing Beef Unit.

1.3 The proposed development does not comprise 'Schedule 1' or 'Schedule 2' development (The Town and Country Planning (Environmental Impact Assessment) Regulations 2017) where an Environmental Impact Assessment is required. It is the view of Officers that the proposed site is not within or adjacent to an environmentally sensitive area (as specified in the regulations) and taking into account the characteristics of the proposed development, the location of the development, and characteristics of the potential impact and the proposed development would not result in significant environmental effects and therefore an Environmental Impact Assessment is not required.

1.4 During the application process a number of revised plans have been submitted in regards to finding an acceptable drainage scheme.

1.5 RELEVANT PLANNING HISTORY

- 17/00620/FULM - Erection of a silage clamp and silos (retrospective application) - Approved
- 15/00378/FULM - Erection of a silage clamp and relocation of existing silos - Approved
- 15/00425/FULM - Extensions to dairy unit and heifer shed to create a calf and sheep shed and general purpose farm building - Approved
- 13/02946/FULM - Erection of educational and associated buildings and related parking, circulation areas and landscaping (for animal management centre, farm and equestrian purposes, 2 staff dwellings, animal housing), siting of animal shelters, silos and feed bins, erection of security fencing, formation of external equine training areas including polo field, formation of new access to York Road, reorganisation of existing access and parking areas, formation of

ponds, change of use of existing buildings, temporary student accommodation and providing glazed roof to existing quadrangle - Approved

- 13/02969/OUTM - Erection of educational and associated buildings and related parking, circulation areas and landscaping (for animal management centre, farm and equestrian purposes, 2 staff dwellings, animal housing), siting of animal shelters, silos and feed bins, erection of security fencing, formation of external equine training areas including polo field, formation of new access to York Road, reorganisation of existing access and parking areas, formation of ponds, change of use of existing buildings, temporary student accommodation and providing glazed roof to existing quadrangle - Approved

2.0 POLICY CONTEXT

2.1 The City of York Draft Local Plan Incorporating the Fourth Set of Changes was approved for Development Management purposes in April 2005:

SP2 Green Belt

SP6 Location strategy

GP1 Design

GP15A Development and Flood Risk

GB1 Development within the Green Belt

GB10 Major development sites in GB

ED5 Further and Higher Education Institutions

2.2 The Publication Draft York Local Plan (2018)

SS2 The Role of York's Green Belt

ED7 York College and Askham Bryan College

D1 Placemaking

GB1 Development in the Green Belt

ENV2 Managing Environmental Quality

ENV5 Sustainable Drainage

CC2 Sustainable design and Construction of New Development

2.3 Please see the Appraisal Section (5.0) for national and local policy context.

3.0 CONSULTATIONS

INTERNAL CONSULTATIONS

HIGHWAY NETWORK MANAGEMENT

3.1 No objections to the proposed development form a highway point of view. The development appears to have less impact on the highway than that already secured in this location. It is possible that the construction phase of this application if built out may have an effect on the public right of way temporarily.

3.2 Understand the college is subject to a Travel Plan that has been secured on at least one application (ref 13/02946/FULM Condition 17), which has not yet been discharged. To our knowledge the last known highway correspondence relating to their submitted Travel Plan dated Sept 2014 was in March 2016 (available on the AOD/16/00081 file), which outlined advice in relation to submitting an acceptable Travel Plan for the site. To reiterate the requirement to satisfy the sustainable travel objectives outlined in the NPPF, request a conditions is applied required a Full Travel Plan.

3.3 Request an informative advising of the Public right of Way and that any diversion or stopping up of footpaths and bridleways (temporary or permanent) is subject to separate processes

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (LANDSCAPE ARCHITECT)

3.4 The application site sits beyond the built extent of the campus and farm buildings, where it would be located on the edge of a large field of pasture. The existing car park and beef unit come forward (westwards) of this boundary, i.e. the latter construction has encroached into the adjacent field. The beef unit itself forms a hard edge as an existing extent of development where the campus meets the open countryside. The existing line of Birch trees along the western edge of the student car park, form a strong line and new boundary to this part of the field, both on plan and within views. Westfield Cottages then complete this edge before the heifer unit and dairy orientate the complex on an east-west axis.

3.5 Consideration must be given not only to the impact of the proposed development, but also the accumulative impact when added to other buildings introduced into the landscape in the last ten to twenty years including the beef unit and buildings on the horizon of Stock Hill. The proposed group of buildings and structures, in particular the Grower building, forms a sizeable footprint that would be placed upon existing pasture, and would represent a significant additional encroachment into the field and open landscape.

3.6 The agricultural form and rendering of the proposed buildings relates to the existing cattle buildings and are of a language that reflects their use. The proposed materials are of neutral tones.

3.7 No tree survey or arboricultural assessment has been submitted with the application. It appears that the line of Birch trees close to the eastern boundary of the application site would not be affected by the development. The intervening access track would provide some protection. The drainage runs also appear not to pose a significant threat to the trees. Assume that the site compound could be accommodated within areas of existing hard standing such as the student car park,

such that there would be no further disruption to the field beyond the confines of the proposed site layout.

3.8 The existing landscape is gently sloping so there would be some cut and fill to create a level platform, which would disrupt the natural, characteristic topography of the moraine. Not had sight of any levels drawings to show how this would manifest itself on the ground. But it is likely that there would be some steeply-sloping earth around the footings of the building – as can be seen in the landscape around the Beef unit, the manure heap, and the Heifer unit – both in terms of its engineered nature and the difference in vegetation that colonises it in contrast to the surrounding field.

3.9 Would be appropriate to add occasional stand-alone specimen trees and/or small groups of trees (suitably protected from grazing) to help sit the proposed buildings in their context and to subtly break up the overall mass, especially given the loss of space between the existing buildings; and also to distract the eye away from the earthworks around the footings and additional structures. Would help reduce the increasing mass of buildings as viewed in the landscape from York Road and the immediate footpaths. Such planting, in the form of hedgerow trees, stand-alone field trees, and small copses would be in keeping with the landscape character.

3.10 The shallow pitch of the straw barn roof lends itself to the creation of a living roof.

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (ECOLOGY OFFICER)

3.11 Preliminary Ecological Appraisal (PEA) report provided is up-to-date, well considered and provide an appropriate level of details, it is considered that the recommendations provided within the reports should be adhered to through conditions. The PEA report states that the site does not provide suitable habitat for great crested newts, however, highlights that other amphibians may be disturbed/harmed by the proposed works. Ecological enhancements have been recommended within the PEA report with the aim of providing biodiversity net gain post construction, these features include: bat boxes, bird boxes, hedgehog enhancements. Request following conditions; timing of the removal of hedgerows and trees; submission of amphibians method statement; Submission of biodiversity enhancement plan/drawing; To ensure the site remains attractive to bats and other light-sensitive wildlife, it is recommended that a sensitive lighting scheme be produced and submitted to the local planning authority for approval prior to any new lighting being installed on site.

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (ARCHAEOLOGY)

3.12 Askham Bryan College is situated within a late prehistoric - Romano-British elevated landscape. The proposed development site is within an area known as Barrow Fields which suggests the site of a possible Bronze Age round barrow/tumulus in the vicinity. No excavation has taken place on this field although data from the Portable Antiquity Scheme has located several Roman finds from this field. A geophysical survey has taken place ahead of the submission of this application. This has not revealed any obvious archaeological features other than remnants of ploughing (ridge and furrow).

3.13 An archaeological watching brief should take place during groundworks associated with this scheme given that it is within a relatively undisturbed area. Request is sought via condition

LEAD LOCAL FLOOD AUTHORITY

3.14 Flood Risk Engineer has witnessed a soakaway test and confirms due to subsoils being predominantly clay soakaways will not work in this location.

3.15 The revised Proposed Drainage Layout is generally acceptable. If planning permission is to be granted, request following conditions: drainage works shall be carried out in accordance with the details shown on the submitted Proposed Drainage Layout – Re: 00.20066-ACE-00-XX-DR-C-1001 Revision P11 dated 10th June 2021 by Adept; ensure the work to replace the full length of existing 100mm diameter pipe to its outfall and the rebuilding of the existing brick manhole is carried out possibly prior to development commencement or if not prior to any piped discharge of surface water from the development; require inspection of replacement pipe works. Request Informative advising a Section 50 license is required

PUBLIC PROTECTION

3.16 Due to the size of the development, it is recommended that controls are put in place to minimise noise, vibration and dust during construction, submitted Construction Environmental Management Plan is acceptable, seek condition that hours of construction are controlled.

3.17 The applicant has submitted an Arc Environmental Phase 1 desk study ref 20-523 dated 4/9/20 and an Arc Environmental Ground Investigation ref 20-523 dated 8/10/20. These reports are considered to be acceptable. Request conditions for the reporting of unexpected contamination

3.18 The proposed development will be close to residential properties to the south east of the development however it is noted that these properties will be occupied by teaching staff and therefore will have an involvement and interest in the development. However it is still advised that procedures should be put in place to

minimise odour emissions from the development and therefore request a condition requiring details of the storage and disposal of manure

3.19 Request following condition: a lighting spillage plan to demonstrate the lighting levels in lux outside the boundary of the site.

PUBLIC RIGHTS OF WAY

3.20 Public Footpath, Askham Bryan No 7 runs between the two proposed development sites, linking the A64 and York Road. During the construction phase the safety of the public using the footpath should be a priority and may necessitate the temporary closure of the path. If the drainage works are going to directly affect the surface of the path, then we would request that contact be made with PROW team beforehand so that a de-lap survey can be undertaken. The surface of the path will be required to be made good to the satisfaction of PROW after any works. PROW team reiterate once again that the safety of authorised users of the right of way be ensured during any construction works.

EXTERNAL CONSULTATIONS

ASKHAM BRYAN PARISH COUNCIL

3.21 No objection to the above application subject to reassurances that there is indeed no visual harm (as suggested in paragraph 7.7 of the Planning Statement) and that there is no detrimental effect on the public right of way and that temporary closure of path number seven is only considered when all alternatives (such as alternative routes) have been fully considered.

ENVIRONMENT AGENCY

3.22 No comments received

YORKSHIRE WATER

3.23 No comments

AINSTY INTERNAL DRAINAGE BOARD

3.24 The proposed development ultimately appears to discharge into a watercourse. This watercourse is outside of our district. However, the Board's Assistant Engineer has previously stated that he is aware of a watercourse on the northern side of York Road which heads further north and eventually goes into culvert. He has said that he believes that this has been flooded in previous winters and that there may therefore be a blockage. Given this will be a "new discharge", we would want to ensure that the existing drain is not going into any blocked system. However, this

watercourse is outside of the Board's district so we will leave this to the Local Authority to ultimately decide how to proceed in this respect.

3.25 Discharge rate of 0.5 litres per second is proposed and agreed by the IDB. Whilst the Board is not the "approving authority" for flow control devices, we note that a flow control device which is intended to limit the discharge rate to 0.5 litres per second is proposed. Provided this flow control device does restrict the flows to 0.5 litres per second and the applicant will be putting the maintenance schedule in place, the Board has no objection to the proposal.

3.26 Surface water storage system - The Board notes that the applicant is proposing a pond for the surface water storage system. The proposal appears to be for this to accommodate a 1:100 year storm plus 40%. The Board is not the "approving authority" in this regard. Accordingly, provided the Local Authority are satisfied with the proposal as a long term sustainable solution, the Board have no objection to the proposal.

3.27 Request condition ensure SW drainage works are carried out in accordance with Drawing – "Proposed Drainage Layout – Beef Sheds" – Revision P11 and Calculations dated 6 April 2021

4.0 REPRESENTATIONS

4.1 Three representation of comments:

- Section 22 of the application form has been incorrectly completed – confirm that the site be seen from a public road or PROW. As a PROW runs directly alongside the proposed development.
- PROW Officer has stated the PROW may have to be closed for public safety whilst development takes place. Request a diversion be put in place instead of closure of PROW no 7, as this is a much used PROW by the public.
- Existing flooding issues from college onto neighbouring land, concerned proposal will exacerbate the issue

5.0 APPRAISAL

5.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that determinations be made in accordance with the development plan unless material considerations indicate otherwise. The development plan for York comprises the Poppleton Neighbourhood Plan (2017), Rufforth Neighbourhood Plan (2018), Earswick Neighbourhood Plan (2019) and the saved policies of the Yorkshire and Humber Regional Spatial Strategy (RSS) relating to the general extent of the York Green Belt. These are policies YH9(C) and Y1 (C1 and C2) which relate to York's Green Belt and the key diagram insofar as it illustrates general extent of the Green Belt. The policies state that the detailed inner and the rest of the outer boundaries of the Green Belt around York should be defined to protect and enhance the nationally

significant historical and environmental character of York, including its historic setting, views of the Minster and important open areas. The RSS defines the outer boundary of the Green Belt as being "about six miles" (10km) from York city centre. The site is approximately 6.4 km from the city centre.

PUBLICATION DRAFT YORK LOCAL PLAN (2018)

5.2 The Publication Draft City of York Local Plan 2018 ('2018 Draft Plan') was submitted for examination on 25 May 2018. Phase 1 of the hearings into the examination of the Local Plan took place in December 2019. In accordance with paragraph 48 of the NPPF as revised in February 2019, the relevant 2018 Draft Plan policies can be afforded weight according to:

- The stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight that may be given);
- The extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- The degree of consistency of the relevant policies in the emerging plan to the policies in the previous NPPF published in March 2012. (NB: Under transitional arrangements plans submitted for examination before 24 January 2019 will be assessed against the 2012 NPPF).

DEVELOPMENT CONTROL LOCAL PLAN (2005)

5.3 The Development Control Local Plan Incorporating the Fourth Set of Changes was approved for development management purposes in April 2005 (DCLP). Whilst the DCLP does not form part of the statutory development plan, its policies are considered to be capable of being material considerations in the determination of planning applications. Where policies relevant to the application are consistent with those in the NPPF (as revised in February 2019), the weight that can be afforded to them is very limited.

NATIONAL PLANNING POLICY FRAMEWORK (NPPF)

5.4 The revised National Planning Policy Framework was published February 2019 (NPPF) and its planning policies are a material consideration in the determination of planning applications. The NPPF sets out the presumption in favour of sustainable development unless specific policies in the NPPF indicate development should be restricted. The presumption in paragraph 11 does not apply if the proposal does not meet restrictive policies concerning green belt.

ASKHAM BRYAN PARISH PLAN

5.5 The Askham Bryan Parish Plan (2006) discusses the College site and its importance to the area. The design guidelines set out in the Plan refer to the setting

of the village and the retention of the agricultural character of the village and there is little mention of the college site.

OPENNESS AND PURPOSES OF THE GREEN BELT

5.6 The NPPF states that the fundamental aim of the Green Belt policy is to prevent urban sprawl by keeping land permanently open and that, the essential characteristics of the Green Belt are its openness and permanence. The Green Belt serves 5 purposes:

- o to check the unrestricted sprawl of large built-up areas;
- o to prevent neighbouring towns merging into one another;
- o to assist in safeguarding the countryside from encroachment;
- o to preserve the setting and special character of historic towns;
- o and to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

In line with the decision of the Court in *Wedgewood v City of York Council* [2020], and in advance of the adoption of a Local Plan, decisions on whether to treat land as falling within the Green Belt for development management purposes should take into account the RSS general extent of the Green Belt, the 2005 DCLP, the 2018 Draft Plan, insofar as can be considered against paragraph 48 of the NPPF (2019) and site specific features in deciding whether land should be regarded as Green Belt.

5.7 The site is located within the general extent of the York Green Belt as described in the RSS. In addition to the saved policies YH9(C) and Y1 (C1 and C2) of the Regional Spatial Strategy which relate to York's Green Belt, the site is identified as falling within greenbelt in the proposals maps of the Development Control Local Plan (2005) and emerging Local Plan (2018). The campus is identified as a "major developed site in the Green Belt" within Policy GB10 the Development Control Local Plan (2005). This policy states that the preferred use of the site is for education. The proposed development falls within the developed site envelope shown in the proposal maps. This Local Plan has not been adopted and the NPPF does not make reference to major developed sites, it is considered that the major developed site envelope can be given only very limited weight when considering this application.

5.8 The site is not identified in the City of York Local Plan - The Approach to the Green Belt Appraisal (2003) which the Council produced to aid in the identification of those areas surrounding the City that should be kept permanently open. However, whilst this document identifies key important areas, which do not include this site, it leaves large areas of countryside as similarly not being of particular importance and it does not set out that all that remaining land within the extent of the Green Belt is necessarily suitable for development or that it has no Green Belt purpose.

5.9 Additionally, when the site is assessed on its merits it is concluded that it serves two Green Belt purposes, namely assisting in safeguarding the countryside from encroachment and helping to preserve the setting and special character of York. As such, the site should be treated as lying within the general extent of the York Green Belt and the proposal falls to be considered under the restrictive Green Belt policies set out in the NPPF.

5.10 The NPPF states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. NPPF paragraph 145 states that the construction of new buildings is inappropriate in the Green Belt, save in the case of a list of exceptions including: buildings for agriculture. The proposed development does not fall within the exceptions set out in paragraph 145 of the NPPF, because the 'agricultural' building is considered to be an educational building as that is its main purpose. The proposal is not considered to fall within limited infilling exception (Para 145 (g) of the NPPF. The site is not previously developed land, the proposed development would be outside of the existing college envelope and would have a greater impact on the openness of the Green Belt it is not considered to fall within this exception. Therefore the proposed building is inappropriate development in the Green Belt.

5.11 The application site is on the western edge of the college campus and farm complex. The proposed development by virtue of the structures would result in an increase in the built form and coalescence of development and encroachment of development into the Green Belt therefore resulting in harm to the openness and the permanence of the greenbelt.

5.12 The NPPF states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. In addition the proposed development is considered to result harm to the openness and permanence of the green belt. The NPPF states that local planning authorities should ensure that substantial weight is given to any harm to the green belt. 'Very special circumstances' will not exist unless the potential harm to the green belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations.

DESIGN AND LANDSCAPE CONSIDERATIONS

5.13 Chapter 12 of the NPPF gives advice on design, placing great importance to the design of the built environment. At paragraph 130, it advises against poor quality design that fails to take the opportunities available for improving the character and quality of an area and the way it functions. The advice in Chapter 12 is reflected in DCLP policy GP1 (Design) and 2018 Draft Local Plan policy D1 (Placemaking) and, therefore, these policies are considered to accord with the NPPF. The policies require new development to respect or enhance its local environment and be of an appropriate density, layout, scale, mass and design compatible with neighbouring

buildings and using appropriate materials. The proposed building is considered to have a neutral impact on the appearance of the site as a whole and the character of the surrounding area.

5.14 The existing farm buildings are directly visible across pasture land from the western approach along York Road. The linear groups of trees provide some screening of the campus buildings beyond the farm and provide a backdrop to the existing beef unit and other farm buildings. The spaces between the existing buildings allow the landscape to filter between them. The introduction of the proposed buildings would reduce this porosity; it would block views through to the trees and present a more solid mass.

5.15 The development would come further forward into the large field of pasture than the existing beef unit. However it would be seen within the context of the beef unit and the other agricultural buildings on the ridge within close this view. The exposure of the proposed development to York Road would be emphasized by the natural rise in the topography of the land.

5.16 A public right of way (PROW) follows the north-south track that runs close to, and parallel with the eastern boundary of the application site. From here there are direct views of the existing agricultural buildings, including some semi-detached brick cottages which altogether read as an established, large, operating farm, which directly abuts a campus-style range of buildings and landscape to the east. A second public right of way follows a parallel north-south route from York Road to the A64 to the west of the application site, along the other side of the field. The proposed development would introduce further closure to views from both footpaths, essentially closing the gap between the cottages and the existing beef unit. The proposed buildings would appear as a component of a large complex of productive agricultural buildings, so to this end would not be out of place, however the additional development would increase the perception of scale of the working farm given the quantity and spread of related buildings seen in turn as the viewer travels through the landscape along either footpath.

5.17 The buildings subject of the current application would be visible however it would be of an agricultural appearance and would be visible against the context to the existing farm complex. From the wider greenbelt it would have the appearance of a farm. However the proposed group of buildings and structures form a sizeable footprint that would be placed upon existing pasture, and would represent a significant additional encroachment into the field and open landscape. The additional development would increase the perception of scale of the working farm given the overall quantity and spread of related buildings. The proposals are considered to result in harm to the visual amenity and character of the area.

5.18 If the proposed development was considered to be acceptable the recommendations of the Landscape Architect to add specimen trees and/or small

groups of trees to help sit the proposed buildings in their context and to subtly break up the overall mass are considered relevant. Whilst not removing the harm, additional trees would help to provide some mitigation and are considered to be necessary and can be sought via condition. As this is a rural area and visible from a distance it is considered necessary to condition a lighting scheme to prevent disturbance and a negative impact to visual amenity and character of the area.

RESIDENTIAL AMENITY

5.19 The NPPF seeks a good standard of amenity for all existing and future occupants, and that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are sympathetic to local character and history, including the surrounding built environment and landscape setting. Policy GP1 of the 2005 Development Control Draft Local Plan and policies D1 and ENV2 of the 2018 Draft Local Plan seek to ensure that development proposals do not unduly affect the amenity of nearby residents in terms of noise disturbance, overlooking, overshadowing or from overbearing structures.

5.20 The proposal is close to a number of dwellings within the college campus. Officers understand that college staff occupy these dwellings. A Construction and Environmental Management Plan accompanies the application and this would protect some of the amenities of those occupants during the construction process, a condition is required to ensure compliance. In addition it is considered necessary to condition submission of details of the manure management to ensure adequate residential amenity. It is considered necessary to condition details of the lighting, to prevent disturbance.

ECOLOGY

5.21 Section 40 of the Natural Environment and Rural Communities Act 2006 places a duty on all public authorities to have regard, in the exercise of the functions, to the purpose of conserving biodiversity. Paragraph 170 of the NPPF requires planning decisions to contribute to and enhance the natural and local environment by, inter alia, minimising impacts on and providing net gains for biodiversity. Draft Local Plan policies reflect this advice in relation to trees, protected species and habitats.

5.22 The NPPF advises that if significant harm to biodiversity from a development cannot be avoided, adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused. An ecological assessment has been submitted to support this application. 5.33 The assessment has been reviewed by the Ecology Officer who agrees with the consultation of the report it is considered that the recommendations provided within the report should be adhered to through the implementation of conditions.

DRAINAGE

5.34 The site is within Flood Zone 1. The NPPF requires that suitable drainage strategies are developed for sites, so there is no increase in flood risk elsewhere. Local Plan Policy GP15a (Development and Flood Risk) and Publication Draft York Local Plan (2018) Policy ENV5 Sustainable Drainage) advise discharge from new developments should not exceed the capacity of receptors and water run-off should, in relation to existing runoff rates, be reduced.

5.35 The site is within Flood Zone 1. Revised plans have been submitted showing an adequate drainage scheme including the replacement of exiting drainage infrastructure. It is considered necessary to condition that these works to take place.

5.36 The proposed drainage works may temporarily affect the Public Right of Way that runs north south through the site. However the works should not result in the permanent cessation of the PROW. Any temporary closure will require separate consent to be sought from the Public Rights of Way team.

VERY SPECIAL CIRCUMSTANCES

5.37 The proposed facilities are required for the college to expand and compete, and improve existing courses; this is supported by local and national policy. The new facility is required to ensure the students are taught using the latest technologies, thus producing an increasing number of skilled technically qualified graduates. Askham Bryan College already offers courses in the rearing of beef. The proposed development would therefore provide facilities for a larger herd of cattle and also to create agricultural buildings that can accommodate new farming technology in order to expand the quality and variety of educational opportunities offered by the College. The new beef rearing unit is to be located adjacent to the existing beef shed and to the west of the access track in order to maintain division between the farm buildings associated with the keeping of the cattle and then the teaching facilities. This is required for health and safety and bio-safety requirements. The position of the beef unit to the west of the existing beef shed will allow the dirty farm functions to be separated from the main Campus by the existing access track. The clean teaching facilities are then located to the east of the beef unit and served by a separate access. Although the development is part of an educational establishment, it is agricultural in appearance and use and the further investment helps to secure the long term future as an educational and employment centre. The proposal is unlikely to set a precedent for other development within the Green Belt.

5.38 The nature of the use of the proposed buildings and its integral function with the rest of the agricultural college would make it impracticable to site the development elsewhere off campus in a non green belt location.

6.0 CONCLUSION

6.1 The application site is located within the general extent of the York Green Belt and serves two Green Belt purposes. As such it falls to be considered under paragraph 143 of the NPPF which states inappropriate development, is by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, are clearly outweighed by other considerations. National planning policy dictates that substantial weight should be given to any harm to the Green Belt.

6.2 In addition to the harm to the Green Belt by reason of inappropriateness, it is considered that the proposal would have a harmful effect on the openness of the Green belt when one of the most importance attributes of Green Belts are their openness and the proposal would undermine at least two of the five Green Belt purposes. Substantial weight is attached to the harm that the proposal would cause to the Green Belt. The harm to the Green Belt is added to by the harm to the visual character and amenity identified in the report

6.3 It is considered that the economic and educational benefits, together with the location constraints identified in paragraphs 5.37 and 5.38 are considered to be cumulatively 'very special circumstances' that clearly outweigh the definitional harm to the green belt, the harm to the openness and permanence of the green belt and the harm to the visual character and amenity arising from the proposed development.

6.4 Approval is recommended subject to the referral of the application to the Secretary of State under The Town and Country Planning (Consultation) (England) Direction 2009 (application received before 21 April 2021) and the application not being called in by the Secretary of State for determination. The application is required to be referred to the Secretary of State as the development is considered to be inappropriate development in the Green Belt, and the proposed 3 no. buildings would create floor space (1116.22sq.m) which is in excess of the of the 1000 sq.m floor space threshold set out in the Direction.

7.0 RECOMMENDATION: That delegated authority to be given to the Head of Development Services to :

- i. refer the application to the Secretary of State for Communities and Local Government under the requirements of Section 77 of the Town and Country Planning Act 1990, and should the application not be called in by the Secretary of State, then APPROVE the application subject to
- ii. The conditions set out in this report with the Head of Development Services granted delegated powers to determine the final detail of the planning conditions

1 TIME2 Development start within three years

2 The development hereby permitted shall be carried out in accordance with the following plans:-

Drawing Number PP001 Revision 04 'Site Layout Plan' received 23 February 2021;
Drawing Number PP002 Revision 04 'Block Plan' received 23 February 2021;
Drawing Number PP003 Revision 03 'Site Sections' received 23 February 2021;
Drawing Number PP100 Revision 04 'Grower Building Plans & Elevations' received 23 February 2021

Drawing Number PP101 Revision 03 'Calf House Plans & Elevations' received 19 October 2020;

Drawing Number PP102 Revision 02 'Straw Barn Plans & Elevations' received 19 October 2020;

Drawing Number PP103 Revision 03 'Farmyard Manure and Water Tanks' received 23 February 2021;

Drawing Number EX001 Revision 03 'Site Location Plan' received 23 February 2021;

Drawing Number 00.20066-ACE-00-XX-DR-C-1001 Revision P11 received 10 June 2021;

Reason: For the avoidance of doubt and to ensure that the development is carried out only as approved by the Local Planning Authority.

3 The development hereby approved shall be constructed in full accordance with Drawing Number 00.20066-ACE-00-XX-DR-C-1001 Revision P11 'Proposed Drainage Layout - Beef Sheds' received 10 June 2021. This shall include the replacement of the full length of existing 100mm diameter pipe to its outfall and the rebuilding of the existing brick manhole. This work shall take prior to any piped discharge of surface water from the development and no buildings (hereby approved) shall be brought into use until the approved drainage scheme have been fully completed and implemented.

The Local Planning Authority shall be advised (at least 2 weeks) prior to the works to the replacement pipeworks, to allow for the inspection of the works.

Reason: To ensure that the proposed development is properly drained and constructed in full accordance with the submitted drainage scheme.

4 A programme of post-determination archaeological mitigation, specifically an archaeological watching brief is required on this site. Each stage shall be completed and agreed by the Local Planning Authority before it can be approved.

(i) The site investigation and post-investigation assessment shall be completed in

accordance with the programme set out in the approved Written Scheme of Investigation (WSI) (dated April 2021)(received 20.04.2021) and the provision made for analysis, publication and dissemination of results and archive deposition secured. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

(ii) A copy of a report shall be deposited with City of York Historic Environment Record to allow public dissemination of results within 2 months of completion or such other period as may be agreed in writing with the Local Planning Authority.

This condition is imposed in accordance with Section 16 of NPPF.

Reason: The site lies within an area of archaeological interest and the development may affect archaeological deposits which must be recorded prior to destruction.

5 The demolition and construction works shall be carried out in full accordance with the Construction Environmental Management Plan (received 20.04.2021). All works on site shall be undertaken in accordance with the approved scheme, unless otherwise agreed in writing by the Local Planning Authority.

If piling is proposed, prior to commencement of the development, a Construction Environmental Management Plan (CEMP) for minimising the creation of noise, vibration and dust during the demolition, site preparation and construction phases of the development shall be submitted to and approved in writing by the Local Planning Authority. All works on site shall be undertaken in accordance with the approved CEMP.

Reason: To protect the amenity of the locality

6 All demolition and construction works and ancillary operations, including deliveries to and dispatch from the site shall be confined to the following hours:

Monday to Friday	0800 to 1800 hours
Saturday	0900 to 1300 hours

Not at all on Sundays and Bank Holidays

Reason: To protect residential amenity

7 The buildings shall not be occupied until there has been submitted to and approved in writing by the Local Planning Authority a detailed landscape mitigation scheme (particularly to the north and west of the proposed development) which shall include the species, stock size, and position of trees and shrubs, and means of support and protection from grazing livestock and wildlife, and management operations to establish the trees. This scheme shall be implemented within a period

of six months of the completion of the development. Any trees or plants which within a period of five years from the substantial completion of the planting and development, die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of a similar size and species, unless the Local Planning Authority agrees alternatives in writing.

Reason: So that the Local Planning Authority may be satisfied with the disposition of species in the vicinity of the development in order to provide landscape and visual mitigation for the development.

8 No removal of hedgerows, trees or shrubs shall take place between 1st March and 31st August inclusive, unless a competent ecologist has undertaken a careful, detailed check of vegetation for active birds' nests immediately before the vegetation is cleared and provided written confirmation that no birds will be harmed and/or that there are appropriate measures in place to protect nesting bird interest on site. Any such written confirmation should be submitted to the local planning authority.

Reason: To ensure that breeding birds are protected from harm during construction. All British birds, their nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife and Countryside Act 1981, as amended.

Informative: The applicant is reminded that, under the Wildlife and Countryside Act 1981, as amended (section 1), it is an offence to remove, damage or destroy the nest of any wild bird while that nest is in use or being built. Planning consent for a development does not provide a defence against prosecution under this act. Trees and scrub are likely to contain nesting birds between 1st March and 31st August inclusive. Trees and scrub are present on the application site and are to be assumed to contain nesting birds between the above dates, unless a recent survey has been undertaken by a competent ecologist to assess the nesting bird activity on site during this period and has shown it is absolutely certain that nesting birds are not present.

9 Works which include site and vegetation clearance shall commence under the supervision of an ecological clerk of works (ECoW) to oversee the Amphibian Method Statement set-out in section 8.3.5 of the Preliminary Ecological Appraisal, Wold Ecology Ltd., July 2020.

Reason: To limit harm, injury and disturbance to amphibians on site.

10 Prior to the first occupation of the buildings a biodiversity enhancement plan/drawing shall be submitted to, and be approved in writing by, the local planning authority. The content of the plan shall include the recommendations set-out in the Preliminary Ecological Appraisal, Wold Ecology Ltd., July 2020. The development shall be in full accordance with these approved details and be implemented prior to the first occupation of the buildings.

The plan/drawing must include:

- o Detailed plan/drawings showing product specifications of the enhancement features.
- o Proposed locations of features/boxes.

Reason: To take account of and enhance the biodiversity and wildlife interest of the area, and to be in accordance with Paragraph 175 d) of the NPPF (2019) to encourage the incorporation of biodiversity improvements in and around developments, especially where this can secure measurable net gains for biodiversity.

11 Prior to the installation of any new external lighting, a 'lighting design scheme for biodiversity' for the entire site shall be submitted to and approved in writing by the local planning authority.

The scheme shall:

- o Demonstrate that it has taken account of the recommendation set out in section 8.2.4.4 of Preliminary Ecological Appraisal provided by Wold Ecology Ltd, July 2020.
- o Show how and where external lighting will be installed (through the provision of appropriate lighting contour plans and technical specifications) so that it can be clearly demonstrated that areas to be lit will not disturb light-sensitive wildlife, such as bats.

Details of the height, type, position, angle and spread of any external lighting shall be submitted to and approved in writing by the Local planning authority prior to the development hereby permitted being brought into use. The external lighting shall be erected and maintained in accordance with the approved details to minimise light spillage and glare outside the designated area.

Reason: To maintain the favourable conservation status of bats. To protect residential amenity. To protect visual amenity and character of the rural area

12 In the event that unexpected contamination is found at any time when carrying out the approved development, it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters,

property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

13 Before the use hereby authorised is commenced, a scheme for the storage and disposal of manure shall be submitted to and approved in writing by the Local Planning Authority. The scheme as approved shall be implemented and adhered to for the lifetime of the development once the use hereby authorised has commenced. The standards of the DEFRA code of practice Protecting our Water, Soil and Air: A Code of Good Agricultural Practice for farmers, growers and land managers (the 'CoGAP') should be adhered to at all times.

Reason: To protect residential amenity

14 Prior to start of the approved drainage works on site a dilapidation survey of the Public Right of Way (2/7/10) adjoining the site shall be jointly undertaken with the Council and the results of which shall be agreed in writing with the Local Planning Authority.

Reason: In the interests of the safety and good management of the public right of way.

8.0 INFORMATIVES:

Notes to Applicant

1. STATEMENT OF THE COUNCIL'S POSITIVE AND PROACTIVE APPROACH

In considering the application, the Local Planning Authority has implemented the requirements set out within the National Planning Policy Framework (paragraph 38) in seeking solutions to problems identified during the processing of the application. The Local Planning Authority took the following steps in order to achieve a positive outcome:

- Request additional information
- Request revised plans
- Use of conditions

2. PROW INFORMATIVE

The owner/developer are advised that the development at construction phase may have an effect on the adjacent Public Footpath (code 2/7/10). The granting of planning permission does not give authority to temporarily divert or stop up a public footpath or bridleway. The diversion or stopping up of footpaths and bridleways (temporary or permanent) are subject to separate processes which must be carried out before the paths are affected by the development. Please contact:

Application Reference Number: 20/01923/FULM

Item No: 3a

rightsofway@york.gov.uk

3. WORKS WITHIN THE ADOPTED HIGHWAY

The applicant should be advised that the City of York Council as the Highway Authority consent (under a Section 50 Licence) is required (outside the planning process) for any works within the adopted highway.

4. INTERNAL DRAINAGE BOARD INFORMATIVE

Under the Land Drainage Act 1991 and the Boards' byelaws, the Board's prior written consent (outside of the planning process) is needed for:-

- (i) any connection into a Board maintained watercourse, or any ordinary watercourse in the Board's district.
- (ii) any discharge, or change in the rate of discharge, into a Board maintained watercourse, or any ordinary watercourse in the Board's district. This applies whether the discharge enters the watercourse either directly or indirectly (i.e. via a third party asset such as a mains sewer).
- (iii) works within or over a Board maintained watercourse, or any ordinary watercourse in the Board's district - for example, the creation of an outfall structure (including those associated with land drainage), bridges, culverting etc.

Please note that the Board does not, generally, own any watercourses and the requirement for you to obtain the Board's consent is in addition to you obtaining consent from any land owner or other authority to carry out the relevant works. Full details of the Consent process can be found on our website:-

<http://www.yorkconsort.gov.uk>

5. INFORMATIVE:

The developer's attention is drawn to the various requirements for the control of noise on construction sites laid down in the Control of Pollution Act 1974. In order to ensure that residents are not adversely affected by air pollution and noise, the following guidance should be adhered to, failure to do so could result in formal action being taken under the Control of Pollution Act 1974:

- (a) All demolition and construction works and ancillary operations, including deliveries to and despatch from the site shall be confined to the following hours:

Monday to Friday 08.00 to 18.00

Saturday 09.00 to 13.00

Not at all on Sundays and Bank Holidays.

- (b) The work shall be carried out in such a manner so as to comply with the general recommendations of British Standards BS 5228: Part 1: 1997, a code of practice for

"Noise and Vibration Control on Construction and Open Sites" and in particular Section 10 of Part 1 of the code entitled "Control of noise and vibration".

(c) All plant and machinery to be operated, sited and maintained in order to minimise disturbance. All items of machinery powered by internal combustion engines must be properly silenced and/or fitted with effective and well-maintained mufflers in accordance with manufacturers instructions.

(d) The best practicable means, as defined by Section 72 of the Control of Pollution Act 1974, shall be employed at all times, in order to minimise noise emissions.

(e) All reasonable measures shall be employed in order to control and minimise dust emissions, including sheeting of vehicles and use of water for dust suppression.

(f) There shall be no bonfires on the site

6. COAL AUTHORITY: DEVELOPMENT LOW RISK AREA - STANDING ADVICE

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority

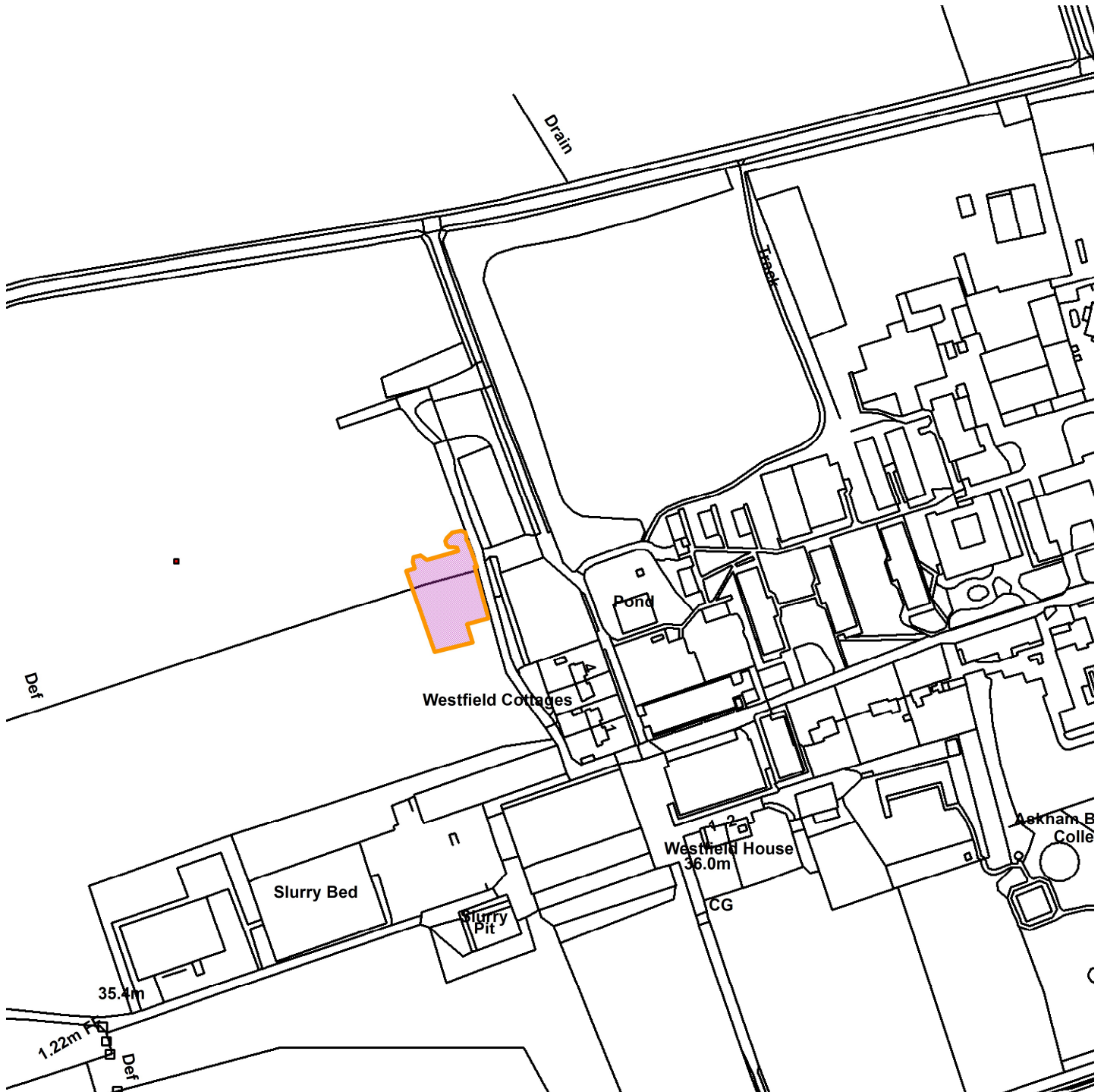
Contact details:

Case Officer: Victoria Bell

Tel No: 01904 551347

Field West of Askham Bryan College, York Road

20/01923/FULM



Scale : 1:2957

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Organisation	City of York Council
Department	Economy & Place
Comments	Site Location Plan
Date	22 June 2021
SLA Number	

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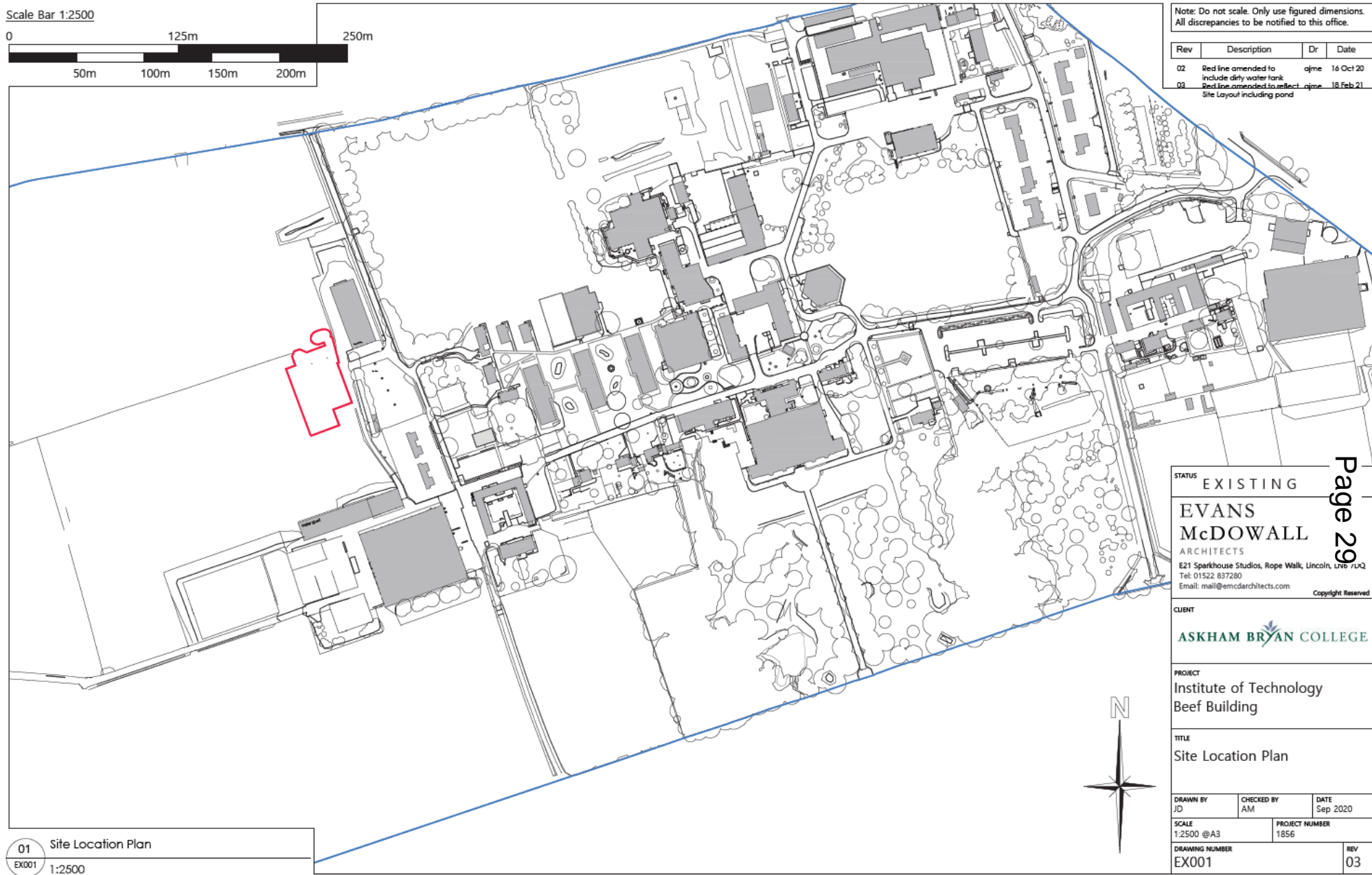
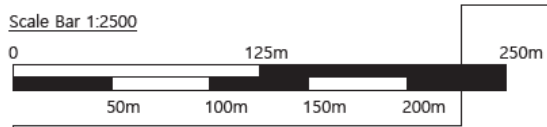
Planning Committee

To be held on Thursday 1st July 2021 at 4:30pm.

20/01923/FULM - Land Comprising Field West Of Askham Bryan
College York Road To Westfield Cottages,
Askham Bryan, York.

Erection of 2 no. cattle buildings, 1 no. hay/straw storage building, 1 no. enclosure, 2 no. tanks, and hardstanding for use as a beef rearing unit.

Site Location Plan



Note: Do not scale. Only use figured dimensions. All discrepancies to be notified to this office.

Rev	Description	Dr	Date
02	Red line amended to include dirty water tank	ajme	16 Oct 20
03	Red line amended to reflect ajme Site Layout including pond	ajme	18 Feb 21

01 Site Location Plan
EX001 1:2500

STATUS EXISTING

**EVANS
McDOWALL**
ARCHITECTS

E21 Sparkhouse Studios, Rope Walk, Lincoln, Lincs LN2 7LQ
Tel: 01522 837280
Email: mail@emcdarchitects.com

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CLIENT

ASKHAM BRYAN COLLEGE

PROJECT

Institute of Technology
Beef Building

TITLE

Site Location Plan

DRAWN BY JD	CHECKED BY AM	DATE Sep 2020
SCALE 1:2500 @A3	PROJECT NUMBER 1856	
DRAWING NUMBER EX001	REV 03	

Page 29



Location of
Development taken
from the North



Site taken from the West



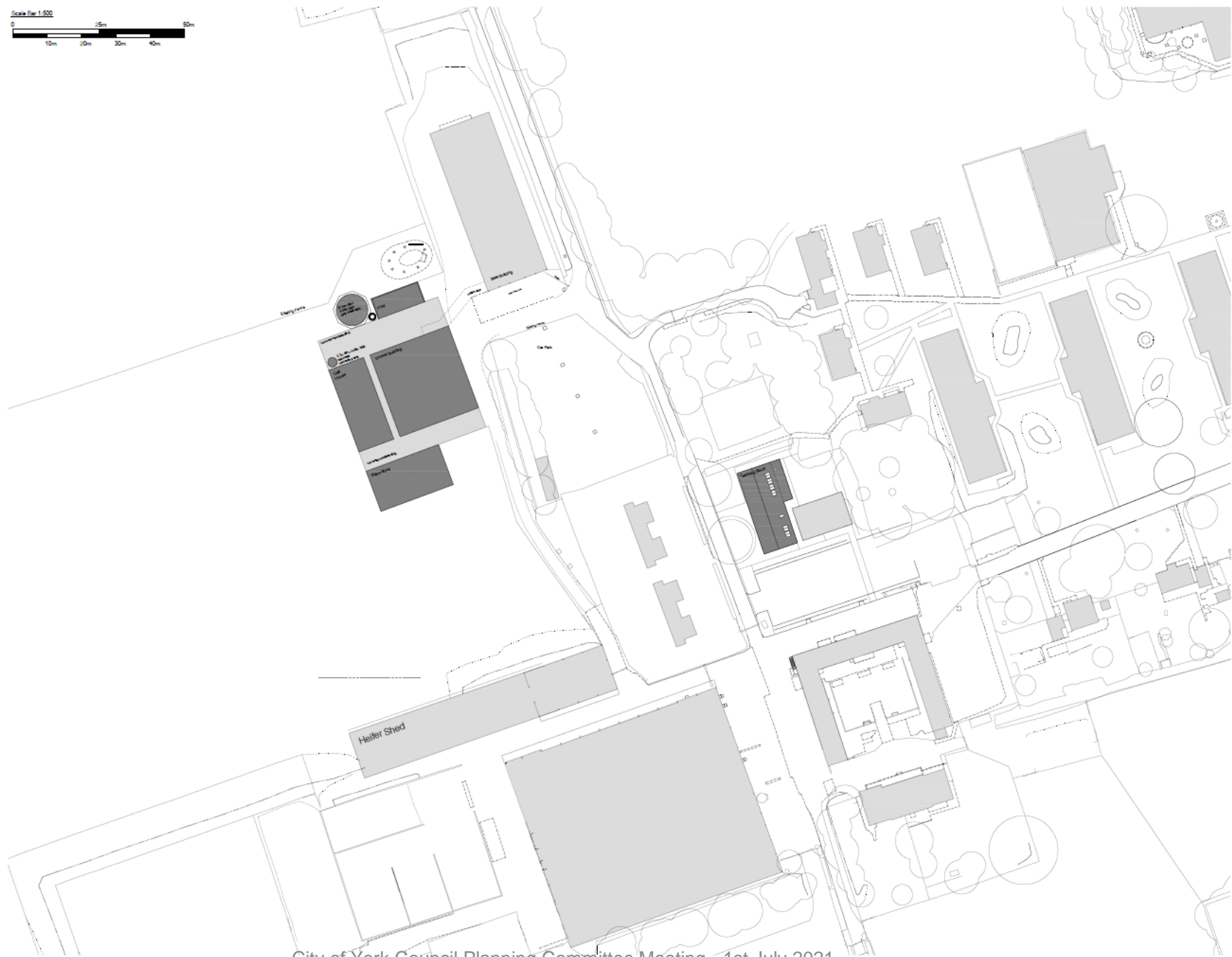
Page 31

Site taken from
North West



Page 32

Proposed Block Plan



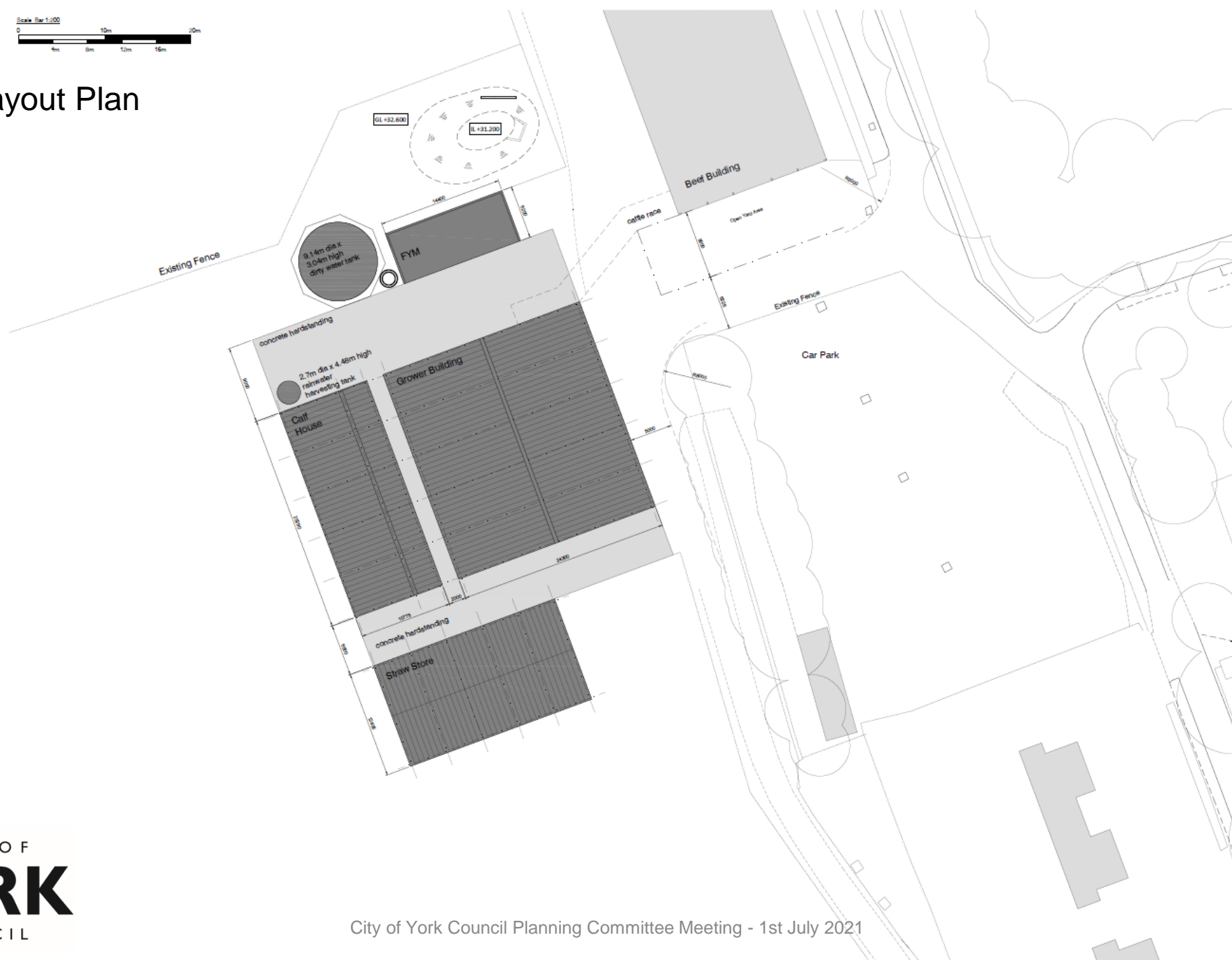
Note: Do not scale. Only use figured dimensions. All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Preparation of initial plan	AE	01 Jun 20
02	Submission of plan	AE	15 Jun 20
03	Final plan submitted to Planning	AE	22 Jun 20
04	Final plan submitted to PPS and approved by Planning	AE	02 Jul 21



STATUS		
PLANNING		
EVANS McDOWALL ARCHITECTS <small>517 Spinkhouse Studios, Rope Walk, Lincoln, LN6 7DQ Tel: 01522 837280 Email: mail@evansmcdowall.com</small>		
CLIENT		
PROJECT		
Institute of Technology Beef Buildings		
TITLE		
Block Plan		
DRAWN BY	CHECKED BY	DATE
ID	AE	March 20
SCALE	PROJECT NUMBER	
1500 @ A1	1856	
DRAWING NUMBER		REV
PP002		04

Proposed Site Layout Plan



Note: Do not scale. Only use figured dimensions. All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Final site plan	AE	15 April 20
02	Minor amendments	AE	23 June 20
03	Minor amendments	AE	23 June 20
04	Final layout, P101 structural, materials, and construction P101 and ground building	AE	02 July 21



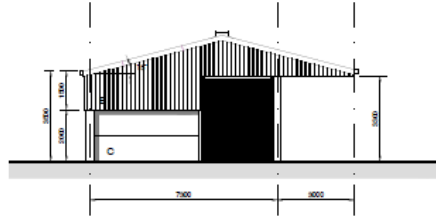
STATUS			PLANNING
CLIENT			EVANS McDOWALL ARCHITECTS <small>517 Spinkhouse Studios, Rope Walk, Lincoln, LN6 7DQ Tel: 01522 837280 Email: mail@evansmcdowall.com</small> Copyright Reserved
PROJECT			ASKHAM BRYAN COLLEGE Institute of Technology Beef Buildings
TITLE			Site Layout Plan
DRAWN BY	CHECKED BY	DATE	
JD	AE	March 20	
SCALE	PROJECT NUMBER		
1:200 @ A3	1856		
DRAWING NUMBER	REV		
PP001	04		



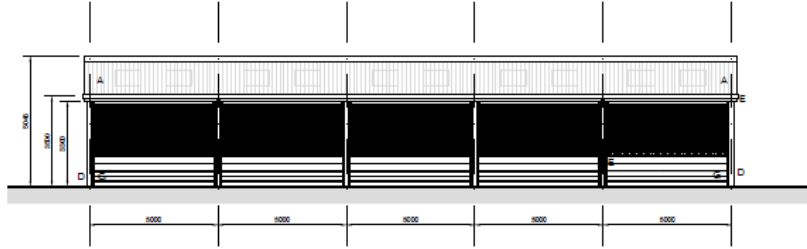
Note: Do not scale. Only use figured dimensions. All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Issued for client requirements	AE	17 April 20
02	Site layout by architect	AE	23 April 20
03	Final layout by contractor	AE	10 May 20

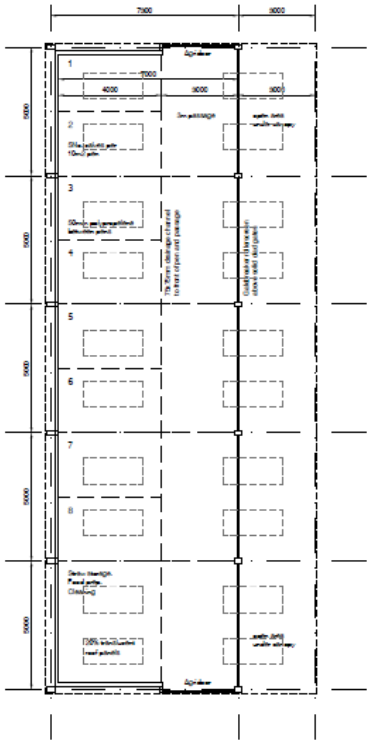
Proposed Calf House Plans & Elevations



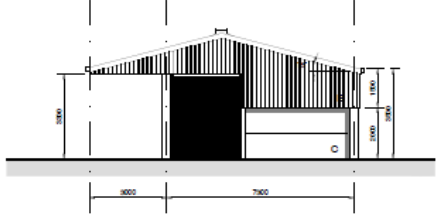
South Elevation
Option 3



East Elevation

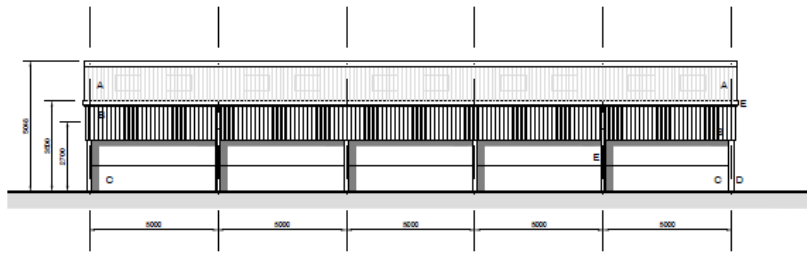


Calf House

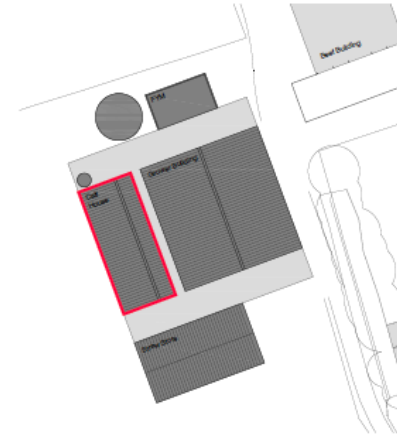


North Elevation

- Materials Legend
- A Mineral fibre roof cladding with 20% translucent panels
 - B Yorkshire boarding, 150mm with 20mm gap
 - C 1000mm high concrete panels
 - D Portal frame
 - E Galvanised rainwater goods
 - F Galvbreaker to gate height
 - G Solid clad gates
 - H Agridoor



West Elevation

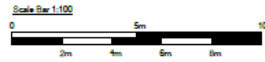


Building Location
1:500



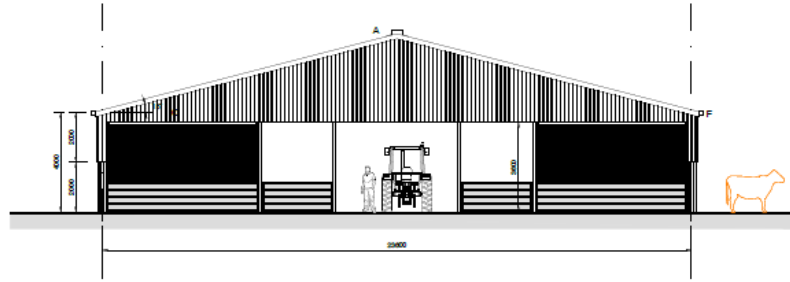
STATUS PLANNING		
EVANS McDOWALL ARCHITECTS 577 Spafthouse Studios, Rope Walk, Lincoln, LN6 7DQ Tel: 01522 637280 Email: mail@emcdarchitects.com Copyright Reserved		
CLIENT ASKHAM BRYAN COLLEGE		
PROJECT Institute of Technology Beef Buildings		
TITLE Calf House Plans & Elevations		
DRAWN BY JD	CHECKED BY AE	DATE March 20
SCALE 1:100 @ A1.9	PROJECT NUMBER 1856	
DRAWING NUMBER PP101	REV 03	

Proposed Grower Building Plans & Elevations

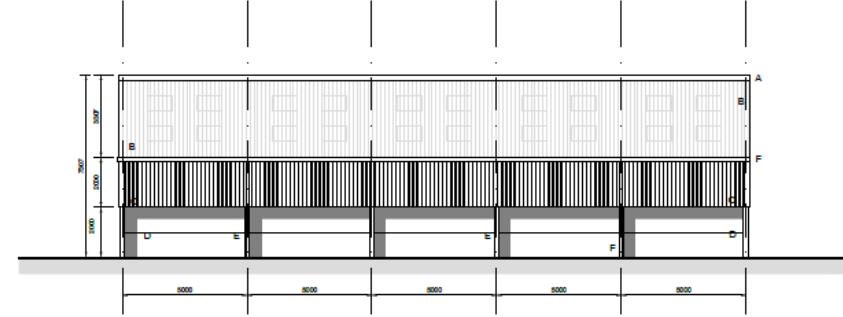


Note: Do not scale. Only use figured dimensions. All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Amend to add elevations	AE	15 April 20
02	Rev Layout by planner	AE	21 April 20
03	Rev Layout by planner	AE	15 Oct 20
04	Amend to add elevations	AE	15 Feb 21



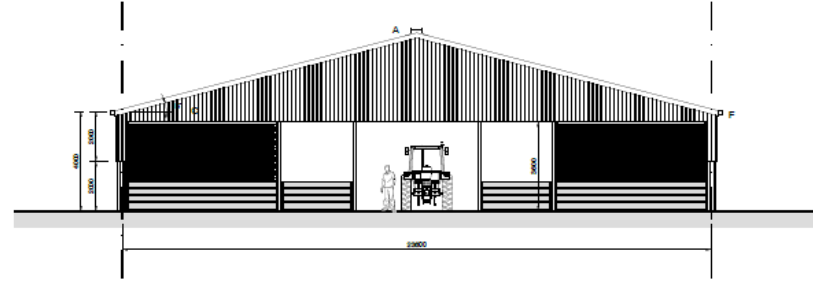
North Elevation



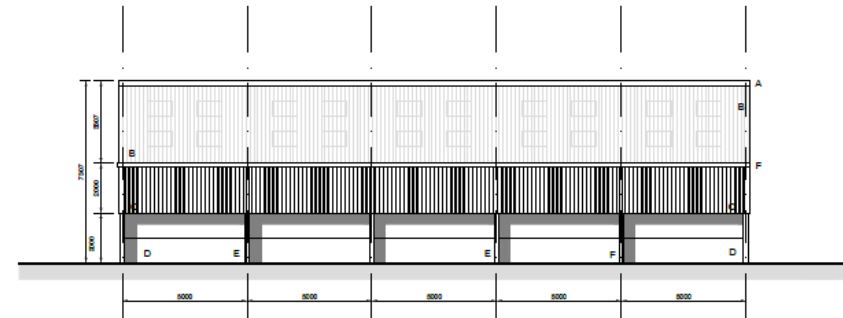
East Elevation



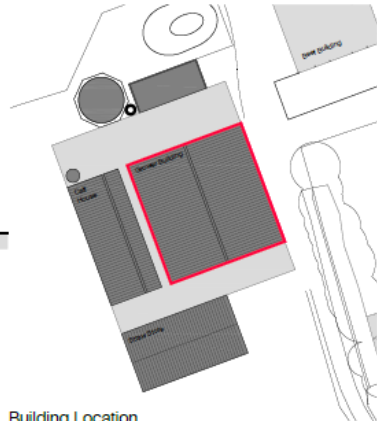
Grower Building



South Elevation



West Elevation



Building Location
1:500

- Materials Legend
- A Protected open ridge with upstands, 200mm gap
 - B Mineral fibre roof cladding with 15% translucent panels
 - C Yorkshire boarding, 150mm with 20mm gap
 - D Concrete panels
 - E Portal frame
 - F Galvanised rainwater goods
 - G Gablebreaker to gate height



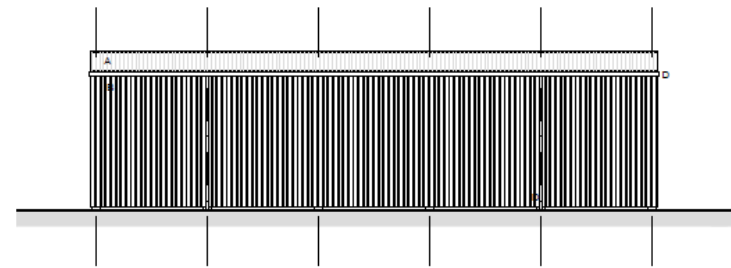
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EVANS McDOWALL ARCHITECTS <small>177 Spitalhouse Studios, Rope Walk, Lincoln, LN6 7DQ Tel: 01522 837280 Email: mail@emcdarchitects.com</small>		
CLIENT ASKHAM BRYAN COLLEGE		
PROJECT Institute of Technology Beef Buildings		
TITLE Grower Building Plans & Elevations		
DRAWN BY JD	CHECKED BY AE	DATE March 20
SCALE 1:100 @ A1	PROJECT NUMBER 1856	
DRAWING NUMBER PP100	REV 04	



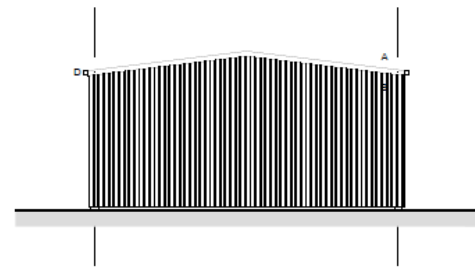
Note: Do not scale. Only use figured dimensions. All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Initial design	AE	23 Mar 20
02	Revised design	AE	14 Apr 20

Proposed Straw Barn Plans & Elevations

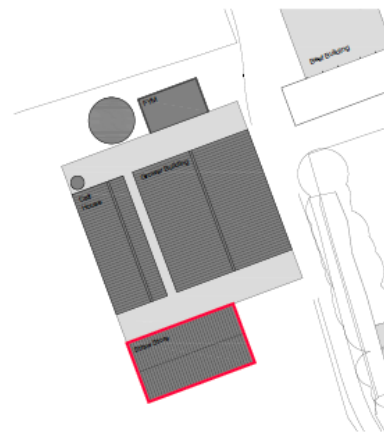


South Elevation

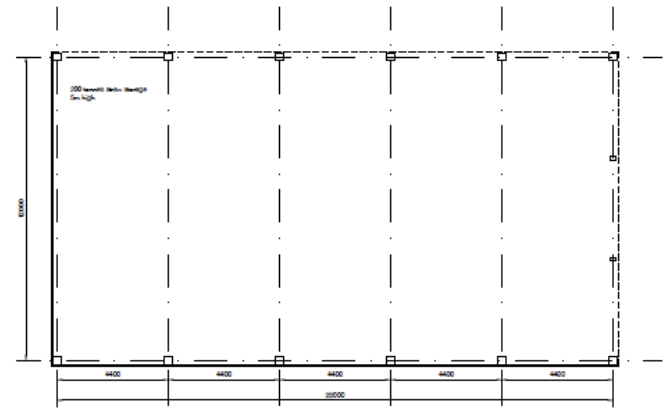


West Elevation

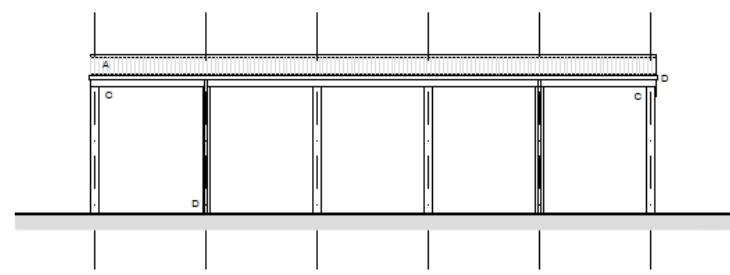
- Materials Legend
- A Mineral fibre roof cladding
 - B Yorkshire boarding 150mm with 50mm gap
 - C Portal frame
 - D Galvanized rainwater goods



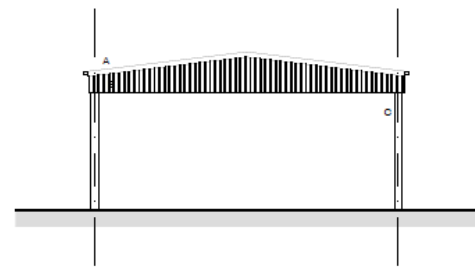
Building Location
1:500



Straw Barn



North Elevation

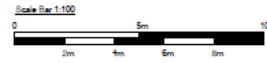


East Elevation



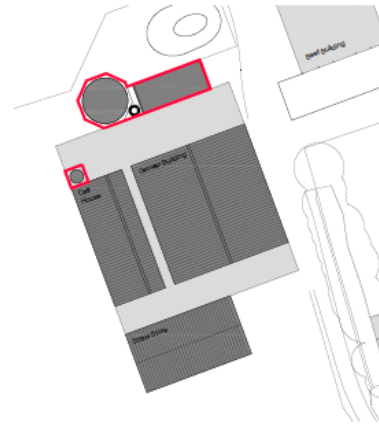
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CLIENT			
PROJECT			
Institute of Technology Beef Building			
TITLE			
Straw Barn Plans & Elevations			
DRAWN BY	CHECKED BY	DATE	
ED	AE	March 20	
SCALE	PROJECT NUMBER		
1:100 @ A1	3556		
DRAWING NUMBER	REV		
PP102	02		

Proposed Farmyard Manure and Water Tanks

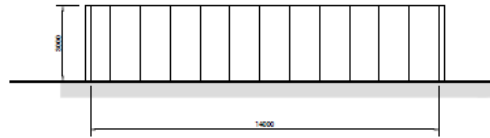


Note: Do not scale. Only use figured dimensions.
All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Site layout by architect	AE	23 Sept 20
02	Final design by architect	AE	01 Oct 20
03	Site layout by consultant	AE	18 Nov 20
04	Preparation of PFI contract	AE	18 Nov 20



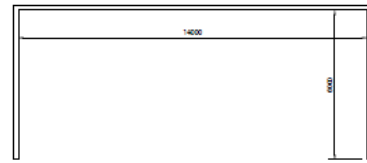
Building Location
1:500



South Elevation

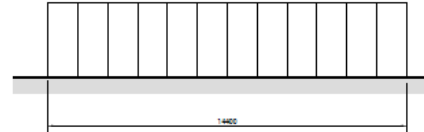


East Elevation

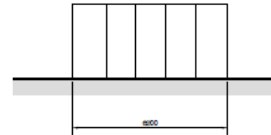


Farmyard Manure

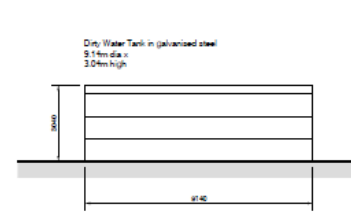
FYM - Farmyard manure storage
Concrete panel or cast in situ to 3m height, with
open channel drain around external perimeter
to collect seepage drain to dirty water tank.



North Elevation



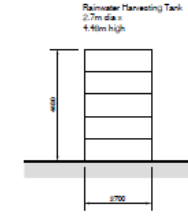
West Elevation
Farmyard Manure



Elevations

Plan

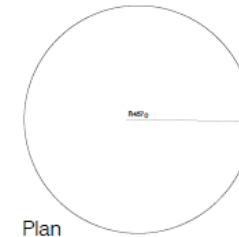
Dirty Water Tank



Elevations

Plan

Rainwater Harvesting Tank



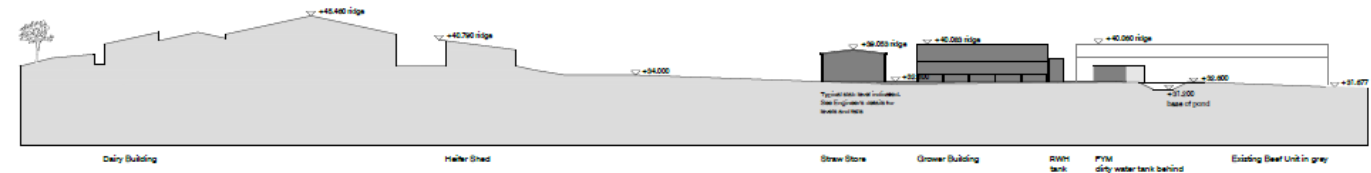
STATUS PLANNING		
EVANS McDOWALL ARCHITECTS <small>177 Spinkhouse Studios, Rope Walk, Lincoln, LN6 7DQ Tel: 01522 837280 Email: mail@evansmcdowall.com</small>		
CLIENT ASKHAM BRYAN COLLEGE		
PROJECT Institute of Technology Beef Buildings		
TITLE Farmyard Manure and Water Tanks		
DRAWN BY JD	CHECKED BY AE	DATE March 20
SCALE 1:100 @ A1		PROJECT NUMBER 1856
DRAWING NUMBER PP1032		REV 03



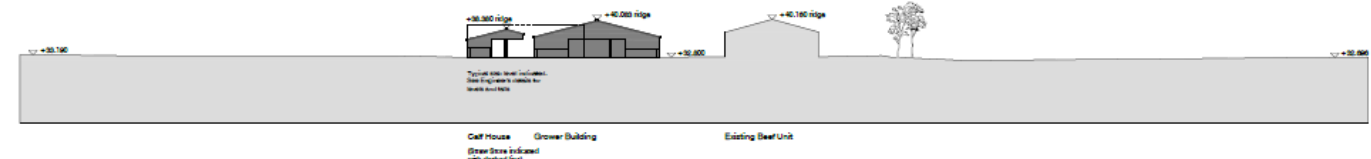
Note: Do not scale. Only use figured dimensions.
All discrepancies to be notified to this office.

Rev	Description	Dr	Date
01	Issue: Final (with minor amendments)	ajm	4 Sep 20
02	Issue: Revise (amended)	ajm	20 Sep 20
03	Final (with minor amendments)	ajm	18 Nov 21

Proposed Site Sections



North - South Section



East - West Section



STATUS PLANNING		
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CLIENT ASKHAM BRAYN COLLEGE		
PROJECT Institute of Technology Beef Buildings		
TITLE Site Sections		
DRAWN BY ajm	CHECKED BY	DATE April 20
SCALE 1:500 @ A1	PROJECT NUMBER 1856	
DRAWING NUMBER PP003		REV 03

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COMMITTEE REPORT**Date:** 1 July 2021**Ward:** Rural West York**Team:** West Area**Parish:** Parish Of Rufforth With
Knapton**Reference:** 21/00796/FULM**Application at:** Land To The South Of Northminster Business Park Harwood
Road Upper Poppleton York**For:** Erection of distribution facility (use class B8) including formation
of vehicle access onto Glaisdale Road**By:** Northminster Properties Ltd**Application Type:** Major Full Application**Target Date:** 30 June 2021**Recommendation:** Approve after referral to Sec. of State**1.0 PROPOSAL**

1.1 Planning permission is sought for the erection of a 5,570 sqm storage and distribution warehouse building (including ancillary offices and welfare facilities) and parking/manoeuvring for vehicles. The gross total floor area is 5,570 sqm, broken down as follows:

Ground Floor:

Warehouse - 4,650 sq m

Office & Welfare - 460 sqm

First Floor

Offices - 400 sqm

Plant Deck - 60 sqm

1.2 The main part of the building would be single-storey and measure approximately 117m x 41m with a shallow-pitched roof. Reception, office and welfare facilities would be over two floors in two wings at the eastern end of the building. The site would be served by a new access from Glaisdale Road, part of the Northminster Business Park. The application is submitted on behalf of Northminster Properties Ltd and the future occupier of the building, DPD Group UK Ltd.

1.3 Main materials would comprise composite metal-faced cladding and micro-rib cladding in various shades of grey with a grey/blue detailing around the entrance and eaves.

1.4 An area of hardstanding would be laid out to serve 30 level-access loading doors and 11 dock-level loading doors. Parking would be provided for 15 HGVs, 145 vans and 165 cars, including 7 disabled bays. Secure cycle parking would be provided for 44 bicycles.

1.5 The facility would operate by receiving parcels at the site, sorting them and then delivering them elsewhere. The site would serve the Northallerton, Scarborough, Hull/Withernsea, Selby, Wetherby and Harrogate areas. Staff would work in shifts, allowing parcels to arrive to site and be delivered throughout the day. The premises would operate 24 hours a day, 7 days a week.

EIA SCOPING OPINION

1.5 The proposed development does not comprise 'Schedule 1' development where an Environmental Impact Assessment is always required. The proposed development is however of a type listed at 10 (b) in column 1 of Schedule 2 (Urban Development Projects) of The Town and Country Planning (Environmental Impact Assessment) Regulations 2017. The proposed development does fall within 1 of the 3 criteria set out in the Schedule 2 - The development includes more than 1 hectare of urban development which is not residential development - However it is the view of officers that the proposed site is not within or adjacent to an environmentally sensitive area (as specified in the Regulations) and taking into account the characteristics of the proposed development, the location of the development, and characteristics of the potential impact and the proposed development would not result in significant environmental effects and therefore an Environmental Impact Assessment was not required.

APPLICATION SITE

1.6 The application site occupies approximately 3.8ha. of agricultural land. It is not within a conservation area and there are no listed buildings in close proximity. The site is within Flood Zone 1. To the north of the site is the Northminster Business Park, separated by a substantial conifer hedge. The remaining sides abut agricultural land.

RELEVANT PLANNING HISTORY

1.7 18/02158/FULM - Full Major application for the erection of a new industrial facility (use class B2 / B8 with ancillary office B1a) with access road, parking and landscaping. Gross floor area would be approximately 5,400sqm. Approved May 2019. Not implemented.

1.8 20/01725/PREAPP – Erection of a B8 storage and distribution building for DPD Ltd with associated works

2.0 POLICY CONTEXT

2.1 The City of York Draft Local Plan Incorporating the Fourth Set of Changes was approved for Development Management purposes in April 2005. Relevant policies are:

SP2	Green Belt
SP6	Location strategy
GP1	Design
GP15A	Development and Flood Risk
GB1	Development Within the Green Belt
GB10	Major Development Sites in the Green Belt

2.2 The Publication Draft Local Plan (2018). Relevant policies are:

SS2	The Role of York's Green Belt
SS23	Land at Northminster Business Park
EC1	Provision of Employment Land
D1	Placemaking
D2	Landscape and Setting
D6	Archaeology
GI4	Trees and Hedgerows
GB1	Development in the Green Belt
CC1	Renewable and Low Carbon Energy
CC2	Sustainable Design and Construction of New Development
ENV2	Managing Environmental Quality
ENV3	Land Contamination
ENV5	Sustainable Drainage
T1	Sustainable Access
T7	Minimising and Accommodating Generated Trips

2.3 See section 5.0 (Appraisal) for national and local policy context.

3.0 CONSULTATIONS

INTERNAL

ECONOMIC GROWTH

3.1 Broadly in support of the application. The proposal is an opportunity for DPD to expand their business. The investment would roughly double the size of the existing Business Park and provide new road infrastructure. The application will increase existing depot space, removing the restrictions on the amount of business

they can presently undertake. The move to a larger site not only allows them to respond to natural growth in the home and commercial delivery sector, but also expands their current catchment area.

3.2 We support DPD's commitment to providing sustainable modes of transport, and the significant growth in their electric fleet over the last year alone. This is very much in keeping with the council's own sustainable transport policies. The availability of suitable employment space is crucial to ensuring that York remains a great place to do business. Industrial units of the size being proposed by DPD are in short supply in the York area. The Economic Growth team supports the creation of a new City Region distribution depot at Northminster Business Park, with local residents able to benefit from the jobs provided by DPD's investment in the city.

HIGHWAY NETWORK MANAGEMENT

3.3 Further information is required in a number of areas in order for the council to be able to properly assess the application. They include: Justification for the number of proposed van parking spaces as there appears to be substantial over-provision; 24hr trip data to verify the assertions in the transport and noise assessments about HGV movements; the number of self-employed delivery drivers in order to justify the number of van parking spaces; mitigation for the increase in delay (as modelled by CYC) at the A59/Northfield Lane junction in the PM peak; sufficient car parking to allow for 'shift changeovers' and visitors; details of improved pedestrian routes/facilities within the business park and within the application site. Cycle parking is inadequate and existing off-road pedestrian routes between the business park entrance and the development are convoluted and discontinuous. These should be improved by the applicant and secured by conditions of approval. Financial contributions will be sought for improved signage (£2,500) and travel plan support (£10,000).

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (CONSERVATION AND DESIGN)

3.4 Development Management to assess.

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (LANDSCAPE)

3.5 No objection to the site layout subject to conditions regarding protection of existing trees and submission of a landscape plan.

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (ECOLOGY)

3.6 The Ecological Impact Assessment (EclA) provided is up-to-date, well considered and provide an appropriate level of detail. The site offers potential for nesting birds. Precautionary methods will be needed to ensure active nests are not destroyed during any vegetation clearance works. This should be made a condition of approval.

3.7 The site does not provide suitable habitat for great crested newts but construction works may lead to the creation of suitable habitat. The precautionary working methods set out in the EclA should be followed during construction and made a condition of approval.

3.8 Ecological enhancements have been recommended within the EclA to provide biodiversity net gains through the inclusion of bird boxes. The applicant should create a biodiversity enhancement plan that includes new features for nesting birds, bats and hedgehogs. This should be made a condition of approval.

DESIGN, CONSERVATION AND SUSTAINABLE DEVELOPMENT (ARCHAEOLOGY)

3.9 The site has previously been subjected to archaeological evaluation. Despite the location of the site within a general Romano-British landscape and the discovery of a nationally significant metalwork hoard in the nearby vicinity no archaeological features were revealed during the recent archaeological works on this particular site. No further archaeological work is required.

LEAD LOCAL FLOOD AUTHORITY

3.10 The revised Drainage Strategy Plan is generally acceptable subject to conditions to protect the local aquatic environment and public sewer network.

PUBLIC PROTECTION

3.11 The site is located next to industrial land and agricultural land. If contamination is found, remedial action will be required to ensure that the site is safe and suitable for its proposed use. The council's standard contamination conditions should therefore be attached to any planning approval. The site is adjacent to existing businesses. The developer should therefore be required by condition to submit for approval a construction environmental management plan (CEMP). Noise from external plant/machinery has not been included in the submitted noise assessment. This also should be made a condition of approval. The methodology within the revised noise assessment report is accepted. Based on the predictions of noise levels from these noise sources the report advises that there would be no adverse impact on nearby noise sensitive receptors. Therefore provided the HGV movements, site traffic movements and fixed plant installation are as stated within

the report then this department has no objections to this application and no conditions to recommend.

FORWARD PLANNING

3.12 Comments awaited.

EXTERNAL

RUFFORTH WITH KNAPTON PARISH COUNCIL

3.13 Do not object but have some serious concerns which should be addressed as conditions of approval:

3.14 Given that this application is for a parcels distribution business we are very concerned over possible congestion at the A59 junction, particularly in the light of the housing development underway on the Civil Service site. We are also concerned about the impact on Northfield Lane, bearing in mind that this is intended to be the main access to the Community Woodland. Congestion here is likely to encourage people to find alternative routes to the Woodland with resultant parking problems in places such as Knapton. Total vehicle movements per day are difficult to ascertain from the information provided but they will be significant and warrant stringent investigation.

3.15 The Neighbourhood Plan states that the roofline should not protrude above the screening and accordingly if approval is granted it must be conditional on appropriate screening to prevent the building being visible from Moor Lane. This is to prevent a negative impact on the openness of the green area and in particular in views from Moor Lane and importantly the Community Woodland in the future.

UPPER POPPLETON PARISH COUNCIL

3.16 Objection, owing to the increasing traffic load at the junction of Northfield Lane with the A59.

ENVIRONMENT AGENCY

3.17 No comments received

YORKSHIRE WATER

3.18 If planning permission is to be granted add conditions requiring separate systems of drainage, provision of an oil/petrol/grit interceptor and no piped discharge prior to completion of approved surface water drainage works.

AINSTY INTERNAL DRAINAGE BOARD

3.19 No objection to the revised proposals. Any approval granted to the proposed development should include a condition requiring the development to be carried out in accordance with the agreed plans and calculations.

4.0 REPRESENTATIONS

4.1 Two representations have been received, neither objecting nor in support, from commercial occupiers of the business park:

- ☐ There will be a significant increase in HGV traffic through the business park. Given this increase footpaths should be provided along Harwood Road and Glaisdale Road. They are used by workers/pedestrians walking to existing businesses.
- ☐ An increase in traffic will increase the likelihood of accidents and includes
- ☐ risk to pedestrians walking to the estate from the P&R.
- ☐ Can the methods of construction please consider the noise nuisance to existing businesses. Please do not underestimate the impact of this noise on neighbours who are trying to work. The size of this build will cause prolonged disruption.

5.0 APPRAISAL

PLANNING POLICY CONTEXT

5.1 Section 38(6) of the Planning and Compensation Act 2004 requires that determinations be made in accordance with the development plan unless material considerations indicate otherwise.

5.2 The site lies within the parish of Rufforth with Knapton and abuts the parish of Upper Poppleton. For the purposes of this application the development plan for York comprises the Rufforth with Knapton Neighbourhood Plan (adopted 2018), the Upper Poppleton and Nether Poppleton Neighbourhood Plan (adopted 2017) and the saved policies of the Yorkshire and Humber Regional Spatial Strategy (RSS). These are policies YH9(C) and Y1 (C1 and C2) which relate to York's Green Belt and the key diagram insofar as it illustrates general extent of the Green Belt.

5.3 The saved RSS policies state that the detailed inner and the rest of the outer boundaries of the Green Belt around York should be defined to protect and enhance

the nationally significant historical and environmental character of York, including its historic setting, views of the Minster and important open areas.

PUBLICATION DRAFT YORK LOCAL PLAN (2018)

5.4 The Publication Draft Local Plan 2018 (the 'emerging plan') was submitted for examination on 25 May 2018. Phase 1 of the hearings into the examination of the Local Plan took place in December 2019. In accordance with paragraph 48 of the NPPF the emerging policies can be afforded weight according to:

- The stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight that may be given);
- The extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- The degree of consistency of the relevant policies in the emerging plan to the policies in the previous NPPF published in March 2012.

5.5 Although there is no formally adopted local plan the City of York Draft Local Plan Incorporating the Fourth Set of Changes was approved for Development Management purposes in April 2005. It does not form part of the statutory development plan and its policies carry very limited weight.

5.6 The most up-to date representation of relevant policy is the National Planning Policy Framework (NPPF). Local planning authorities should seek to approve applications for sustainable development where possible and work with applicants to secure developments that improve the economic, social and environmental conditions of the area.

DEVELOPMENT CONTROL LOCAL PLAN (2005)

5.7 The Development Control Local Plan Incorporating the Fourth Set of Changes was approved for development management purposes in April 2005 (DCLP). Whilst the DCLP does not form part of the statutory development plan, its policies are considered to be capable of being material considerations in the determination of planning applications. Where policies relevant to the application are consistent with those in the NPPF (as revised in February 2019), the weight that can be afforded to them is very limited.

RUFFORTH WITH KNAPTON NEIGHBOURHOOD PLAN (2018)

5.8 The Rufforth Neighbourhood Plan (RNP) sets out that in respect of Green Belt it is for York's Local Plan to define the detailed boundaries of the Green Belt and until that time should continue to apply the approach to the identification of the Green Belt as set out currently in the RSS and the Fourth Set of Changes

Development Control Local Plan (2005). Therefore it is considered that the site is within the general extent of the Green Belt.

5.9 Policy Rwk10 states that within the general extent of the Green Belt inappropriate development, as identified in the National Planning Policy Framework which includes new buildings, will not be supported except in very special circumstances.

5.10 It is against the NPPF, the saved RSS policies relating to the general extent of the York Green Belt and the Rufforth with Knapton Neighbourhood Plan that this proposal should principally be assessed. Given the advanced stage of the emerging Plan's preparation, the lack of significant objection to the emerging policies relevant to this application and the stated consistency with the Framework, would advise that the policy requirements of emerging plan policies EC1, D1, D2, GI4, CC1, CC2, ENV2 and T1 and T7 should be applied with moderate weight. Only limited weight can be afforded to Policy SS2 and SS23 at this time.

ECONOMIC DEVELOPMENT

5.11 The NPPF states that significant weight should be placed on the need to support economic growth and productivity, taking into account local business needs and wider opportunities for development (paragraph 80). The site is part of a strategic employment allocation in the emerging plan. Its development would contribute to achieving one of the council's main objectives which is to meet the city's employment needs. The proposal would also enable an existing company to remain within the district and to continue to grow. The applicant expects a total of 206 staff to be employed at the site. This is 125 more than the existing number of employees, i.e. 81, at the current depot. The depot would support local businesses and the local economy generally. The application complies with policies EC1 (Provision of employment land) and SS23 (Land at Northminster Business Park) of the emerging plan.

OPENNESS AND PURPOSES OF THE GREEN BELT

5.12 The NPPF states that the fundamental aim of the Green Belt policy is to prevent urban sprawl by keeping land permanently open and that, the essential characteristics of the Green Belt are its openness and permanence. The Green Belt serves 5 purposes:

- ☐ to check the unrestricted sprawl of large built-up areas;
- ☐ to prevent neighbouring towns merging into one another;
- ☐ to assist in safeguarding the countryside from encroachment;
- ☐ to preserve the setting and special character of historic towns;
- ☐ to assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

5.13 In line with the decision of the Court in *Wedgewood v City of York Council* [2020], and in advance of the adoption of a Local Plan, decisions on whether to treat land as falling within the Green Belt for development management purposes should take into account the RSS general extent of the Green Belt, the 2005 DCLP, the 2018 Draft Plan, insofar as can be considered against paragraph 48 of the NPPF (2019), and site specific features in deciding whether land should be regarded as Green Belt.

5.14 The site is located within the general extent of the York Green Belt as described in the RSS. In addition to the saved policies YH9(C) and Y1 (C1 and C2) of the Regional Spatial Strategy which relate to York's Green Belt, the site is identified as falling within Green Belt in the proposals maps of the Development Control Local Plan (2005) and emerging Local Plan (2018).

5.15 In the Draft Local Plan (2005) the site is designated as reserved/safeguarded land for post 2011 development to ensure the Green Belt boundaries did not have to be altered. Policy GP24a (Land Reserved for Possible Future Development) states that "Until such time as the Local Plan is reviewed, planning permission on sites designated as reserved land, will only be granted for development that is required in connection with established uses, or alternative uses which will preserve the open nature of the land and will not prejudice the potential for the future comprehensive development of the site". The supporting text to the policy states: 'it is not allocated for development at the present time but will be brought forward with a review of the plan and therefore should be kept free from any development that would prejudice future development following the review of the Local Plan'.

5.16 In the draft Local Plan 2018 the site is excluded from the Green Belt; it is allocated as an extension to the business park (ST19).

5.17 The site is not identified in the City of York Local Plan - The Approach to the Green Belt Appraisal (2003), which the Council produced to aid in the identification of those areas surrounding the City that should be kept permanently open. However, whilst this document identifies key important areas, which do not include this site, it leaves large areas of countryside as similarly not being of particular importance and it does not set out that all that remaining land within the extent of the Green Belt is necessarily suitable for development or that it has no Green Belt purpose.

5.18 Additionally, when the site is assessed on its merits it is concluded that it serves two Green Belt purposes, namely assisting in safeguarding the countryside from encroachment and helping to preserve the setting and special character of York. As such, the site should be treated as lying within the general extent of the York Green Belt and the proposal falls to be considered under the restrictive Green Belt policies set out in the NPPF.

5.19 The NPPF states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations. NPPF paragraph 145 states that the construction of new buildings is inappropriate in the Green Belt falling within any of the exceptions listed. The proposed development is not among the exceptions and is therefore inappropriate development in the Green Belt, harmful to openness and in conflict with the purposes of including land within it. The NPPF states that local planning authorities should ensure that substantial weight is given to any harm to the Green Belt.

CHARACTER AND APPEARANCE

5.20 Paragraph 130 of the NPPF states that permission should be refused for poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. The scale, design, appearance and external materials (mainly grey cladding) are in keeping with the character of the existing business park. They comply with policy D1 of the emerging plan and relevant paragraphs in section 12 of the NPPF. A condition should be attached requiring materials to be submitted for approval.

LANDSCAPE

5.21 The site is currently part of an agricultural field with hedges, including some hedgerow trees, along the northern, western and eastern boundaries. The southern boundary is open. The application includes a landscape scheme based on the previously approved landscaping scheme for application 18/02158/FULM. The planting now proposed for along the southern boundary would comprise a native hedge approximately 3m wide, which is narrower than the previous approval which was approximately 5m wide. Weldmesh security fencing is proposed around the perimeter of the car park. This would be appropriately placed on the inside of the perimeter planting so would be screened, but the fencing would also further reduce the available width for establishing tree planting. The tall native hedgerow along Moor Lane to the south of the site is dense. It provides significant screening of the site from Moor Lane during the summer months when it is in full leaf but there would be filtered views of the site during the months when leaf cover is absent. Nevertheless, the proposed native hedge is acceptable subject to it being supplemented by a row of young specimen trees randomly spaced along the length of the hedge, so that they can attain their full canopy spread over and above the hedgerow. The applicant has agreed to this being made a condition of approval.

5.22 The site includes a mature oak tree part-way along the eastern boundary. It is one of three trees on the site that are worthy of protection. The oak would not be affected by the current proposals but if the access road into the site were extended

as part of a future phase, beyond the currently-proposed turning head, the road would significantly encroach into the root protection area of the oak tree and probably result in its early demise. Nevertheless the application has to be judged on its merits. If the road were to be extended in the future any impact on the tree would be a material consideration, which would be addressed in the design. The other two trees worthy of protection are on the western boundary. All three trees are shown to be retained within the development.

5.23 Additional native woodland species have been added to improve screening. No existing trees are planned to be removed from the site, apart from two small sections of hedge line for construction of the new road from this proposal. The additional trees proposed by the landscaping scheme would more than compensate for this and provide a net gain.

5.24 An area of grassland is proposed for the south eastern corner of the site where hardstanding is not required. It would soften the setting of the building and provide some amenity space for employees.

TRAFFIC, PARKING AND ACCESS

5.25 The NPPF advises that significant development should be focused on locations which are or can be made sustainable, through limiting the need to travel and offering a genuine choice of transport modes. This can help to reduce congestion and emissions, and improve air quality and public health. However, opportunities to maximise sustainable transport solutions will vary between urban and rural areas, and this should be taken into account in both plan-making and decision-making. Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

5.26 Access to the site is from the A59 via Northfield Lane and the internal roads through the business park. Glaisdale Road, within the business park, would be extended by a dedicated single carriageway road, with footpath. It would terminate at the entrance to the depot. Parking and manoeuvring for all HGV's, delivery vans and staff cars would be provided within the site. The application was submitted with a transport statement and subsequently a transport assessment (TA). However, the information supplied to show how the depot would function and the impact it would have on the transport network are inadequate for the council to be able to properly assess the application. Further information has been sought and Members will be updated at the meeting.

5.27 The business park is not served by public transport. The nearest bus services are at Poppleton Park & Ride (approximately 900m) and the A59 (approximately 1100m). The nearest train service is at Poppleton station (approximately 2000m). These distances all exceed recommended distances for accessing public transport.

However the wider area has already been developed as a business park without the provision and benefit of public transport. It is not considered that the refusal of the application on the grounds of lack of access to public transport would be supported at appeal given the surrounding development. The application is accompanied by an interim travel plan, which is being assessed by highways officers.

5.28 The new road access road would have a dedicated footway and there is a public footway along Northfield Lane. However, there is no footway alongside the existing roads through the business park and no proposal to provide any, despite the significant number of additional vehicle movements that would result from the current proposal. The council's highways officers have queried this with the applicant. Members will be updated at the meeting.

5.29 Staff cycle parking would be provided on site in the form of 22 Sheffield stands (44 cycle parking spaces) within a secure cycle compound within the site car park. No details have been provided but the application states that cycle parking would comply with council standards. Details should be submitted as a condition of approval.

IMPACT ON RESIDENTIAL AMENITY

5.30 The NPPF seeks a good standard of amenity for all existing and future occupants, and for developments to add to the overall quality of the area for the lifetime of the development; are sympathetic to local character, including the surrounding built environment and landscape setting. Policy GP1 of the 2005 Development Control Draft Local Plan and policies D1 and ENV2 of the 2018 Draft Local Plan seek to ensure that development proposals do not unduly affect the amenity of nearby residents

5.31 The application has been accompanied by a noise assessment. It shows that the activities within the depot are unlikely to have any material impact on nearby occupiers. However, the noise assessment as initially submitted did not properly consider noise from goods vehicles entering and leaving the business park at the junction with Northfield Lane. The entrance is close to residential dwellings. The applicant has since submitted a revised noise assessment. The methodology within the revised report is accepted by public protection officers. The report advises that, based on the predictions of noise levels, there would be no adverse impact on nearby noise sensitive receptors. Noise from external plant/machinery has not been included in the submitted noise assessment. This should be made a condition of approval.

5.32 The parking area will include 30 electric vehicle charging points to serve 17 electric cars and 13 electric vans, which are intended to be used to serve York. This exceeds CYC's current standards for active EV charging provision (5%). Furthermore, in order to future proof the distribution facility, the electricity

supply is to be installed across the application site in a way that means additional electric charging points can be introduced at a later date.

5.33 The site is not in an existing area of air quality concern. The proposed operation of electric vehicles from the site and the aspiration to increase this operation in the future will help to minimise emissions and air quality impacts associated with the site.

5.34 The applicant has provided an external lighting plan which demonstrates that the lux levels at the site boundary will be less than 1 lux. This is acceptable and therefore provided this lighting is installed then no conditions are required in relation to external lighting.

5.35 Construction nuisance would be mitigated by a CEMP, which should be secured by a condition of approval.

ECOLOGY

5.36 Section 40 of the Natural Environment and Rural Communities Act 2006 places a duty on all public authorities to have regard biodiversity. Paragraph 170 of the NPPF requires planning decisions to contribute to and enhance the natural and local environment by, inter alia, minimising impacts on and providing net gains for biodiversity. Draft Local Plan policies reflect this advice in relation to trees, protected species and habitats.

5.37 The NPPF advises that if significant harm to biodiversity from a development cannot be avoided, adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused. An ecological assessment has been submitted to support this application. The assessment has been reviewed by the council's Ecology Officer who agrees with the findings of the report. The recommendations within the report, dealing with protection of breeding birds, avoidance of great crested newts and biodiversity enhancements should be made conditions of approval.

DRAINAGE

5.38 The site is within Flood Zone 1. The NPPF requires that suitable drainage strategies be developed for sites so that there is no increase in flood risk elsewhere. Policy ENV5 (Sustainable Drainage) of the emerging plan states that discharge from new developments on greenfield sites shall be no greater than existing. Planning Practice Guidance requires that soakaways are first considered in accordance with sustainable drainage principles. However, flood risk officers and the IDB accept that the site is not suitable for soakaways. Instead the applicant is proposing on-site underground storage of surface water and a discharge rate of 4 litres per second. This has been agreed with the council's flood risk officers and AIDB, as has a

revised drainage strategy plan. Adherence to it should be made a condition of approval.

5.39 Foul water would discharge to an existing foul sewer.

CLIMATE CHANGE

5.40 Policy CC1 of the emerging plan states that new buildings must achieve a reasonable reduction in carbon emissions of at least 28% unless it can be demonstrated that this is not viable. This should be achieved through the provision of renewable and low carbon technologies in the locality of the development or through energy efficiency measures. The submitted sustainability statement says that consideration will be given to design, location and material usage in order to reduce energy consumption throughout the lifetime of the development. It gives no commitment to complying with policy CC1.

5.41 Policy CC2 of the emerging plan states that all new non-residential buildings with a total internal floor area of 100sqm or greater should achieve BREEAM 'Excellent' (or equivalent). The submitted BREEAM pre-assessment report demonstrates that the proposed development is capable of complying with and meeting a BREEAM 'Very Good' rating. However, the application includes site-specific information about why, in this case, a rating of 'Excellent' cannot be achieved.

VERY SPECIAL CIRCUMSTANCES

5.42 The NPPF states that significant weight should be placed on the need to support economic growth and productivity, taking into account local business needs and wider opportunities for development. The site is part of a strategic employment allocation in the emerging plan. Its development would contribute to achieving one of the council's main objectives which is to meet the city's employment needs. The applicant expects a total of 206 staff to be employed at the site, i.e. 125 more than the number of existing employees at its current premises. The relocation would enable an existing company to remain within the district and to continue to grow. It would also enable the company's existing premises to be made available for occupation by another business. Overall, there are very special circumstances for the proposed development, whereby the environmental, economic and social benefits of the scheme are to be given significant weight, which clearly outweigh any potential harm to the general extent of the Green Belt in accordance with paragraph 143 of the NPPF. The site would form a natural extension to the well-established Northminster Business Park.

6.0 CONCLUSION

6.1 The application site is located within the general extent of the Green Belt and serves two Green Belt purposes. As such it falls to be considered under paragraph 143 of the NPPF which states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, are clearly outweighed by other considerations. National planning policy dictates that substantial weight should be given to any harm to the Green Belt. In addition to the harm to the Green Belt by reason of inappropriateness, the proposal would have a harmful effect on openness and would undermine two of the five Green Belt purposes. Substantial weight is attached to the harm that the proposal would cause to the Green Belt.

6.2 However, the proposed development would make a significant contribution to achieving one of the council's main objectives which is to meet the city's employment needs. The proposal would also enable an existing company to remain within the district and to continue to grow. These benefits are, in combination, considered to amount to very special circumstances' that clearly outweigh the harm to the Green Belt due to inappropriateness, impact on the openness and conflict with the purposes of including land within it.

6.3 Approval is recommended subject to the referral of the application to the Secretary of State under The Town and Country Planning (Consultation) (England) Direction 2009 (application received before 21 April 2021) and the application not being called in by the Secretary of State for determination. The application is required to be referred to the Secretary of State as the development is considered to be inappropriate development in the Green Belt, and the proposed 3 no. buildings would create floor space (1116.22sq.m) which is in excess of the of the 1000 sq.m floor space threshold set out in the Direction.

7.0 RECOMMENDATION: That delegated authority to be given to the Head of Development Services to:

- i. refer the application to the Secretary of State for Communities and Local Government under the requirements of Section 77 of the Town and Country Planning Act 1990, and should the application not be called in by the Secretary of State, then APPROVE the application subject to
- ii. The conditions set out in this report with the Head of Development Services granted delegated powers to determine the final detail of the planning conditions.

CONDITIONS

1 TIME2 Development start within three years

2 The development hereby permitted shall be carried out in accordance with the following plans:

2552 P100, 2552 P101, 2552 P200A, 2552 P400B, 2552 P401C, 2552 P402B, 2552 P403B, E001 and 20446-DR-C-0100-P9.

Reason: For the avoidance of doubt and to ensure that the development is carried out only as approved by the Local Planning Authority.

3 VISQ8 Samples of exterior materials to be app

4 Details of all means of enclosure to the site boundaries shall be submitted to and approved in writing by the Local Planning Authority prior to the occupation of the development and shall be provided in accordance with the approved details before the development is occupied.

Reason: In the interests of the visual amenities of the area and the amenities of neighbouring properties. Insufficient details were submitted in the application. In order to preserve the visual appearance of York's Green Belt and to minimise the visual impact of the warehouse within the Green Belt.

5 Within three months of commencement of development a detailed landscape scheme shall be submitted to and approved in writing by the Local Planning Authority. This shall include: the species, stock size, density (spacing), and position of trees, shrubs, hedging and other plants; a mix of 12no. tree species with a girth no less than 10cm to be planted along the southern boundary; and seed mixes, sowing rates and mowing regimes where applicable. It will also include details of ground preparation and tree planting details. The proposed tree planting shall be compatible with existing and proposed utilities. This scheme shall be implemented within a period of six months of the practical completion of the development. Any trees or plants which within a period of ten years from the substantial completion of the planting and development, die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of a similar size and species, unless the Local Planning Authority agrees alternatives in writing.

Reason: So that the Local Planning Authority may be satisfied with the variety, suitability and disposition of species and other landscape details across the site, since the landscape scheme, is integral to the amenity of the development and the surrounding views and landscape character.

6 Before the commencement of development a complete and detailed

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Arboricultural Method Statement regarding protection measures for existing trees shall be submitted to and approved in writing by the Local Planning Authority. Amongst other information, this statement shall include details and locations of protective fencing, a schedule of tree works if applicable, site rules and prohibitions, phasing of works, location of site compound including parking arrangements and locations for stored materials, types of construction machinery/vehicles to be used and means of moving materials around the site, locations and means of installing utilities, and implementation of landscape works. A copy of the document will be available for reference and inspection on site at all times.

Reason: To protect existing trees which are covered by a Tree Preservation Order and/or are considered to make a significant contribution to the amenity of this area and/or development.

7 No part of the development shall be occupied until a Full Travel Plan has been submitted and approved in writing by the local planning authority. The Full Travel Plan should be developed and implemented in line with local and national guidelines taking into account the Interim Travel Plan, dated June 2021, and the subsequent first annual survey submitted. The site shall thereafter be occupied in accordance with the aims, measures and outcomes of the approved Full Travel Plan.

Within 12 months of occupation of the site a first year travel survey shall have been submitted to and approved in writing by the LPA. Results of yearly annual travel surveys carried out over period of 4 years from the first survey shall then be submitted annually to the authority's travel plan officer for approval.

Reason: To ensure that traffic flows from the site can be safely accommodated and to promote the usage of sustainable means of transport.

8 Prior to the commencement of the above ground works details of the cycle parking areas, including means of enclosure, shall be submitted to and approved in writing by the Local Planning Authority. The storage and distribution building shall not be occupied until the cycle parking areas and means of enclosure have been provided within the site in accordance with such approved details, and these areas shall not be used for any purpose other than the parking of cycles.

Reason: To promote use of cycles thereby reducing congestion on the adjacent roads and in the interests of the amenity of neighbours.

9 The storage and distribution building shall not be occupied until the areas shown on the approved plans for parking and manoeuvring of vehicles (and cycles, if shown) have been constructed and laid out in accordance with the approved plans, and thereafter such areas shall be retained solely for such purposes.

Reason: In the interests of highway safety.

10 Prior to first occupation of the development 30 electric vehicle recharging Points shall be provided in a position and to a specification previously agreed in writing by the local planning authority. All charging points shall be located in a prominent position on the site and shall be for the exclusive use of zero emission vehicles.

Reason: To promote and facilitate the uptake of electric vehicles on the site in line with the Council's Low Emission Strategy and the National Planning Policy Framework.

Notes: Electric Vehicle Charging Points should incorporate a suitably rated 32A 'IEC 62196' electrical socket to allow 'Mode 3' charging of an electric vehicle. The exact specification is subject to agreement in writing with the council. The location of charging points should be identified by parking bay marking and signage. All electrical circuits/installations shall comply with the electrical requirements in force at the time of installation.

11 The development shall be carried out to a BRE Environmental Assessment Method (BREEAM) standard of 'Excellent'. A post-construction stage assessment shall be carried out and a post-construction stage certificate shall be submitted to the Local Planning Authority prior to occupation of the building (or in the case of the certificate as soon as practical after occupation). Should the development fail to achieve a BREEAM standard of 'excellent' a report shall be submitted for the written approval of the Local Planning Authority demonstrating what remedial measures should be undertaken to achieve 'excellent'. The approved remedial measures shall then be undertaken within a timescale to be approved in writing by the Local Planning Authority.

Reason: In the interests of achieving a sustainable development in accordance with the requirements of Policy CC2 of the Publication Draft Local Plan 2018.

12 No above ground works shall take place until details of the reduction in carbon emissions the development hereby approved would achieve when compared against Part L of the Building Regulations (the notional building) have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details. The details shall demonstrate a reduction in carbon emissions of at least 28% through the provision of renewable or low carbon technologies or through energy efficiency measures when compared to the Target Emission Rate (calculated using Standard Assessment Procedure methodology as per Part L2A of the Building Regulations).

Reason: In the interests of sustainable design and in accordance with policies CC1 of the Publication Draft Local Plan 2018.

13 No removal of hedgerows, trees or shrubs shall take place between 1st March and 31st August inclusive, unless a competent ecologist has undertaken a careful, detailed check of vegetation for active birds' nests immediately before the vegetation is cleared and provided written confirmation that no birds will be harmed and/or that there are appropriate measures in place to protect nesting bird interest on site. Any such written confirmation should be submitted to the local planning authority.

Reason: To ensure that breeding birds are protected from harm during construction. All British birds, their nests and eggs (with certain limited exceptions) are protected by Section 1 of the Wildlife and Countryside Act 1981, as amended.

14 The development shall be carried out in accordance with the great crested newt 'Reasonable Avoidance Measures' (RAMs) set-out in section 7.3.2 of the Ecological Impact Assessment dated March 2021 by MAB Environment and Ecology Ltd.

Reason: To limit to creation of suitable habitat on site for Great crested newts through construction works.

15 Prior to commencement of development a biodiversity enhancement plan/drawing shall be submitted to the local planning authority for approval in writing. The plan shall include, but not be limited to, the recommendations set out in the Ecological Impact Assessment dated March 2021 by MAB Environment and Ecology Ltd.

Reason: To take account of and enhance the biodiversity and wildlife interest of the area, and to be in accordance with Paragraph 175 d) of the NPPF (2019) to encourage the incorporation of biodiversity improvements in and around developments, especially where this can secure measurable net gains for biodiversity.

16 Prior to development, an investigation and risk assessment (in addition to any assessment provided with the planning application) shall be undertaken to assess the nature and extent of any land contamination. The investigation and risk assessment shall be undertaken by competent persons and a written report of the findings shall be produced and submitted to the local planning authority for approval in writing. The report of the findings shall include:

- (i) a survey of the extent, scale and nature of contamination (including ground gases where appropriate);
- (ii) an assessment of the potential risks to:
 - o human health,
 - o property (existing or proposed) including buildings, crops, livestock, pets, woodland and service lines and pipes,

- o adjoining land,
- o groundwaters and surface waters,
- o ecological systems,
- o archaeological sites and ancient monuments;

(iii) an appraisal of remedial options, and proposal of the preferred option(s).

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

17 Prior to development, a detailed remediation scheme to bring the site to a condition suitable for the intended use (by removing unacceptable risks to human health, buildings and other property and the natural and historical environment) shall be prepared and shall be subject to the approval in writing of the Local Planning Authority. The scheme shall include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme shall ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

18 Prior to first occupation or use, the approved remediation scheme shall be carried out in accordance with its terms and a verification report that demonstrates the effectiveness of the remediation carried out shall be produced and submitted to the local planning authority for approval in writing.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems.

19 In the event that unexpected contamination is found at any time when carrying out the approved development, it shall be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment shall be undertaken and where remediation is necessary a remediation scheme shall be prepared and submitted to the local planning authority for approval in writing. Following completion of measures identified in the approved remediation scheme a verification report shall be prepared and submitted to the local planning authority for approval in writing.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

20 Prior to commencement of the development, a Construction Environmental Management Plan (CEMP) for minimising the creation of noise, vibration and dust during the demolition, site preparation and construction phases of the development shall be submitted to and approved in writing by the Local Planning Authority. The CEMP must include a site specific risk assessment of dust impacts in line with the guidance provided by IAQM (see <http://iaqm.co.uk/guidance/>) and include a package of mitigation measures commensurate with the risk identified in the assessment. All works on site shall be undertaken in accordance with the approved scheme, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the amenity of the locality

21 Details of all external machinery, plant and equipment to be installed or located on the premises, which is audible outside of the premises, shall be submitted to the local planning authority for approval. These details shall include average sound levels (LAeq), octave band noise levels and any proposed noise mitigation measures. The machinery, plant or equipment and any approved noise mitigation measures shall be fully implemented and operational before the proposed use first opens and shall be appropriately maintained thereafter.

Note: The combined rating level of any building service noise associated with plant or equipment at the site should not exceed the representative LA90 1 hour during the hours of 07:00 to 23:00 or representative LA90 15 minutes during the hours of 23:00 to 07:00 at 1 metre from the nearest noise sensitive facades when assessed in accordance with BS4142: 2014, inclusive of any acoustic feature corrections associated with tonal, impulsive, distinctive or intermittent characteristics.

Reason: To protect the amenity of nearby properties and the environmental qualities of the area.

22 The site shall be developed with separate systems of drainage for foul and surface water on and off site.

Reason: In the interest of satisfactory and sustainable drainage.

23 The development hereby approved shall be constructed in full accordance with the Drainage Strategy Plan numbered DR-C-0100 Revision P9 received 21 June 2021.

Reason: To ensure that the proposed development is properly drained

24 No development shall take place until details of the proposed means of foul and surface water drainage, including details of any balancing works and off site works, have been submitted to and approved by the Local Planning Authority. The information shall include site specific details of:

- i) the foul water pumping station, the means of discharge and connection to existing private foul water drainage system which in turn connects to public foul sewer,
- ii) the surface water pumping station, the means by which the surface water discharge rate shall be restricted to a maximum rate of 4 (four) litres per second,
- iii) the attenuation tank, the means by which the surface water attenuation up to the 1 in 100 year event with a 30% climate change allowance shall be achieved, and
- iv) the future management and maintenance of the proposed drainage scheme.

Reason: So that the Local Planning Authority may be satisfied with these details for the proper and sustainable drainage of the site.

25 Unless otherwise approved in writing by the local planning authority, there shall be no piped discharge of surface water from the development prior to the completion of the approved surface water drainage works and no buildings shall be occupied or brought into use prior to completion of the approved foul drainage works.

Reason: So that the Local Planning Authority may be satisfied that no foul and surface water discharges take place until proper provision has been made for their disposal.

8.0 INFORMATIVES:

Notes to Applicant

1. STATEMENT OF THE COUNCIL'S POSITIVE AND PROACTIVE APPROACH

In considering the application, the Local Planning Authority has implemented the requirements set out within the National Planning Policy Framework (paragraph 38) in seeking solutions to problems identified during the processing of the application. The Local Planning Authority took the following steps in order to achieve a positive outcome:

- Requested additional information
- Requested revised plans
- Use of conditions

2. CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN (CEMP)

For noise details on hours of construction, deliveries, types of machinery to be used, use of quieter/silenced machinery, use of acoustic barriers, prefabrication off site etc, should be detailed within the CEMP. Where particularly noisy activities are expected to take place then details should be provided on how they intend to lessen the impact i.e. by limiting especially noisy events to no more than 2 hours in duration. Details of any monitoring may also be required, in certain situation, including the location of positions, recording of results and identification of mitigation measures required.

For vibration details should be provided on any activities which may results in excessive vibration, e.g. piling, and details of monitoring to be carried out. Locations of monitoring positions should also be provided along with details of standards used for determining the acceptability of any vibration undertaken. In the event that excess vibration occurs then details should be provided on how the developer will deal with this, i.e. substitution of driven pile foundations with auger pile foundations. Ideally all monitoring results should be recorded and include what was found and mitigation measures employed (if any).

With respect to dust mitigation, measures may include, but would not be restricted to, on site wheel washing, restrictions on use of unmade roads, agreement on the routes to be used by construction traffic, restriction of stockpile size (also covering or spraying them to reduce possible dust), targeting sweeping of roads, minimisation of evaporative emissions and prompt clean up of liquid spills, prohibition of intentional on-site fires and avoidance of accidental ones, control of construction equipment emissions and proactive monitoring of dust. Further information on suitable measures can be found in the dust guidance note produced by the Institute of Air Quality Management, see <http://iaqm.co.uk/guidance/>. The CEMP must include a site specific risk assessment of dust impacts in line with the IAQM guidance note and include mitigation commensurate with the scale of the risks identified.

In addition to the above the CEMP should provide a complaints procedure, so that in the event of any complaint from a member of the public about noise, dust, vibration or lighting the site manager has a clear understanding of how to respond to complaints received. The procedure should detail how a contact number will be advertised to the public, what will happen once a complaint had been received (i.e. investigation), any monitoring to be carried out, how they intend to update the complainant, and what will happen in the event that the complaint is not resolved. Written records of any complaints received and actions taken should be kept and details forwarded to the Local Authority every month during construction works by

email to the following addresses public.protection@york.gov.uk and planning.enforcement@york.gov.uk

3. CONSENT TO DISCHARGE INTO A WATERCOURSE

Under the Board's Byelaws, the written consent of the Internal Drainage Board is required prior to any discharge, or increase in the rate of discharge, into any watercourse (directly or indirectly) within the Board's District.

i) The public sewer network does not have capacity to accept an unrestricted discharge of surface water. Surface water discharge to the existing public sewer network must only be as a last resort, the developer is required to eliminate other means of surface water disposal.

ii) The applicant should be advised that the York Consortium of Internal Drainage Board's prior consent is required (outside the planning process) for any development including fences or planting within 9.00m of the bank top of any watercourse within or forming the boundary of the site. Any proposals to culvert, bridge, fill in or make a discharge to the watercourse will also require the Board's prior consent.

4. CONSENT FOR A NEW OUTFALL

Any new outfall to a watercourse requires the prior written consent of the Internal Drainage Board under the terms of the Land Drainage Act 1991 and should be constructed to the satisfaction of the Board.

5. HEDGEHOGS

The applicant is advised to consider using permeable fencing or leaving occasional gaps suitable to allow passage of hedgehogs. Any potential hibernation sites including log piles should be removed outside the hibernation period (which is between November and March inclusive) in order to avoid killing or injuring hedgehog.

Hedgehogs are of priority conservation concern and are a Species of Principal Importance under section 41 of the NERC Act (2006). An important factor in their recent population decline is that fencing and walls are becoming more secure, reducing their movements and the amount of land available to them. Small gaps of approximately 13x13cm can be left at the base of fencing to allow hedgehogs to pass through. Habitat enhancement for hedgehogs can easily be incorporated into developments, for example through provision of purpose-built hedgehog shelters or log piles.

<https://www.britishhedgehogs.org.uk/wp-content/uploads/2019/05/developers-1.pdf>

6. NESTING BIRDS

The applicant is reminded that, under the Wildlife and Countryside Act 1981, as amended (section 1), it is an offence to remove, damage or destroy the nest of any

wild bird while that nest is in use or being built. Planning consent for a development does not provide a defence against prosecution under this act. Trees and scrub are likely to contain nesting birds between 1st March and 31st August inclusive. Trees and scrub are present on the application site and are to be assumed to contain nesting birds between the above dates, unless a recent survey has been undertaken by a competent ecologist to assess the nesting bird activity on site during this period and has shown it is absolutely certain that nesting birds are not present.

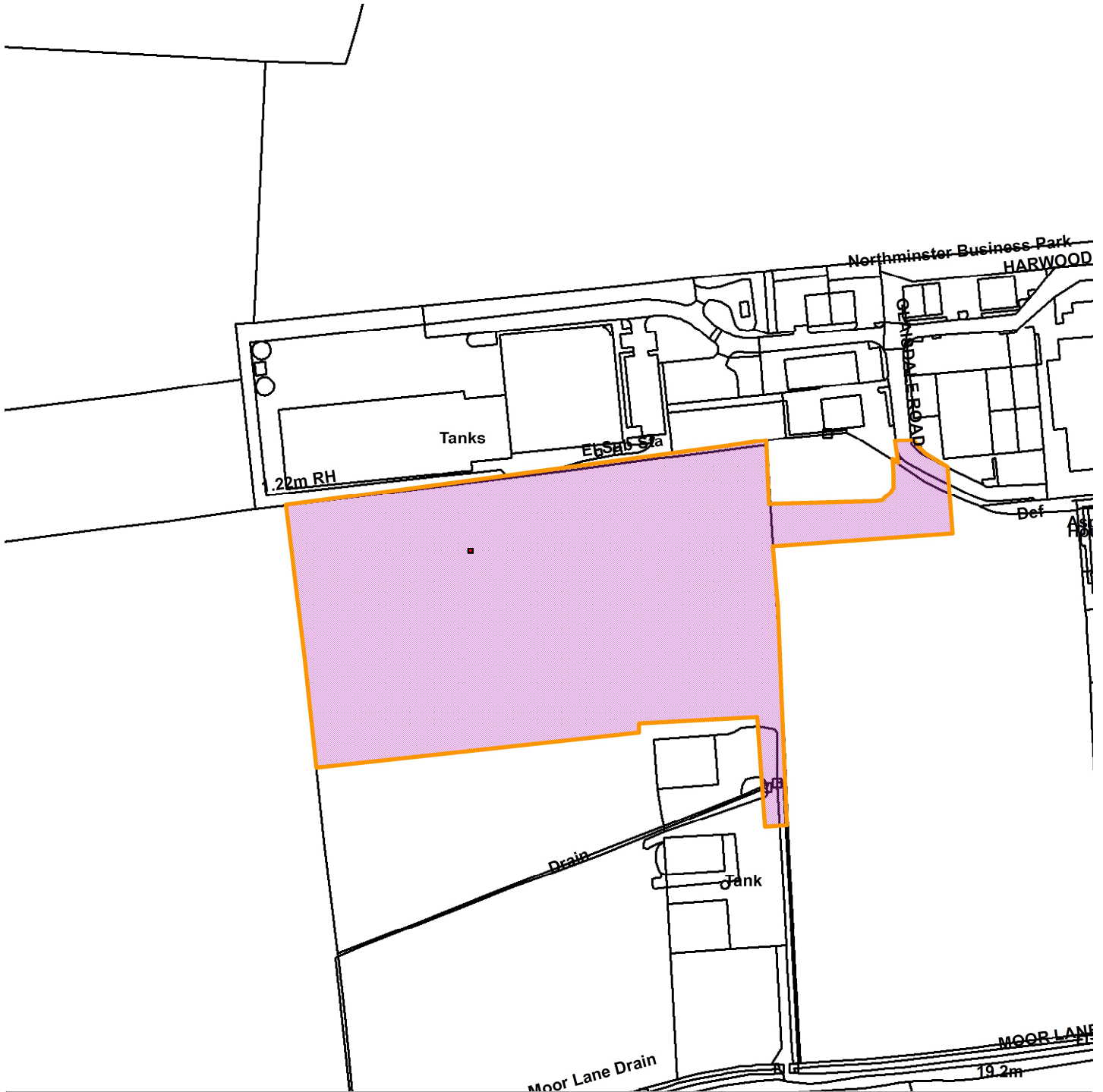
Contact details:

Case Officer: Kevin O'Connell

Tel No: 01904 552830

21/00796/FULM

Land South of Northminster Business Park, Harwood Road YO26



Scale : 1:2957

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Organisation	City of York Council
Department	Economy & Place
Comments	Site Location Plan
Date	22 June 2021
SLA Number	

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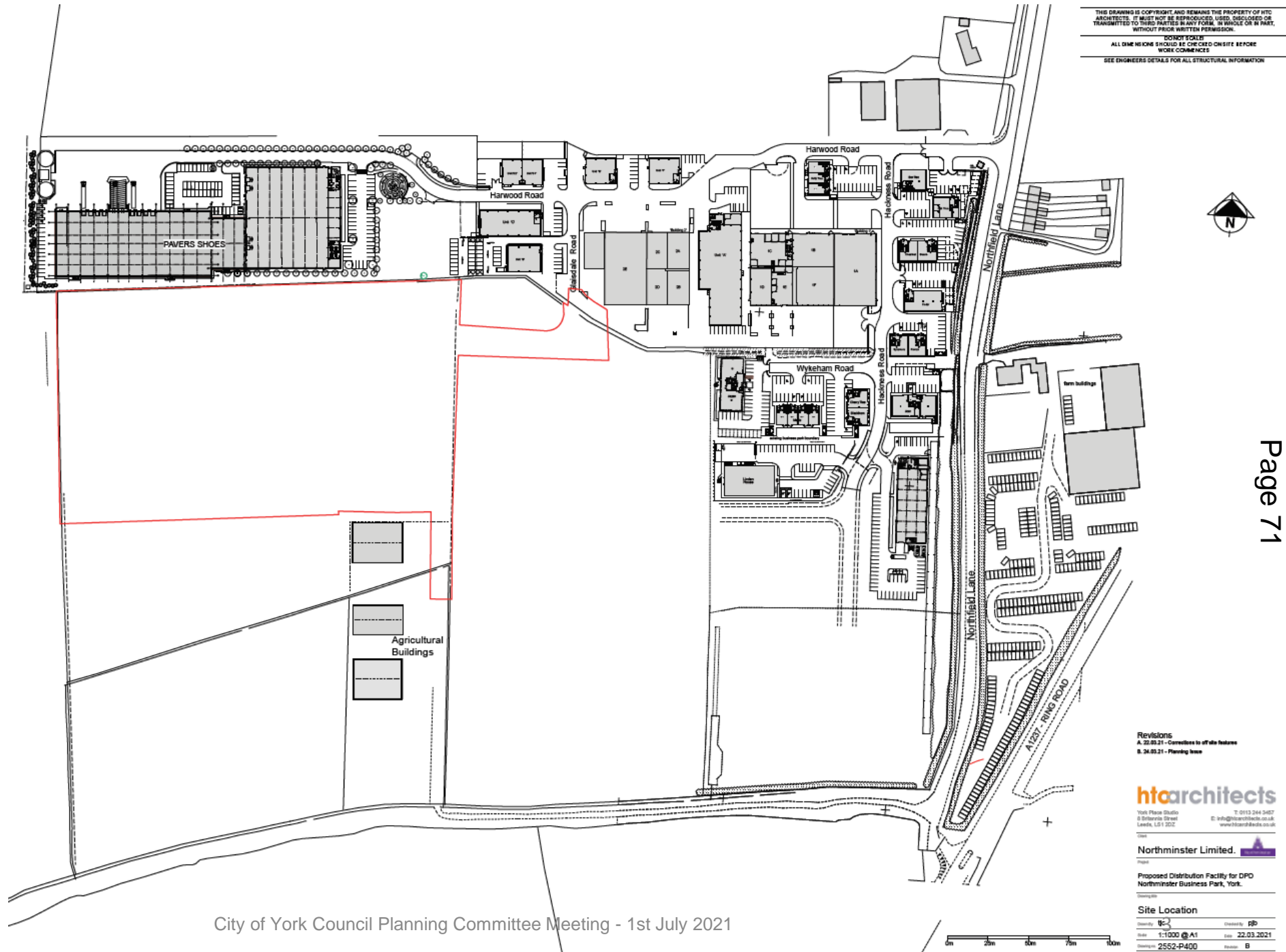
Planning Committee

To be held on Thursday 1st July 2021 at 4:30pm.

21/00796/FULM - Land To The South Of Northminster Business Park, Harwood Road, Upper Poppleton, York.

Erection of distribution facility (use class B8) including formation of vehicle access onto Glaisdale Road.

Site Location Plan



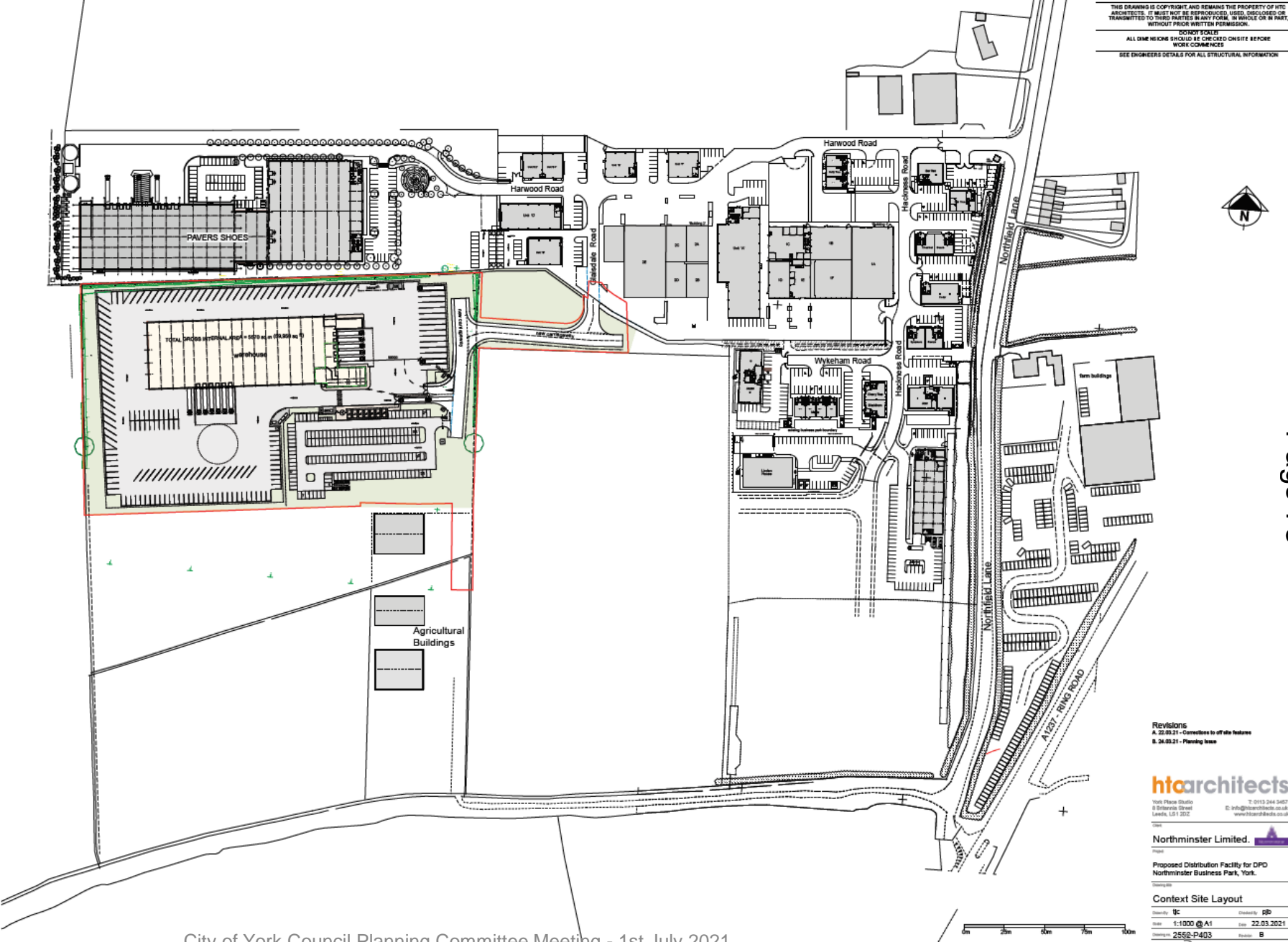
Google Earth Aerial Image – Wider Context



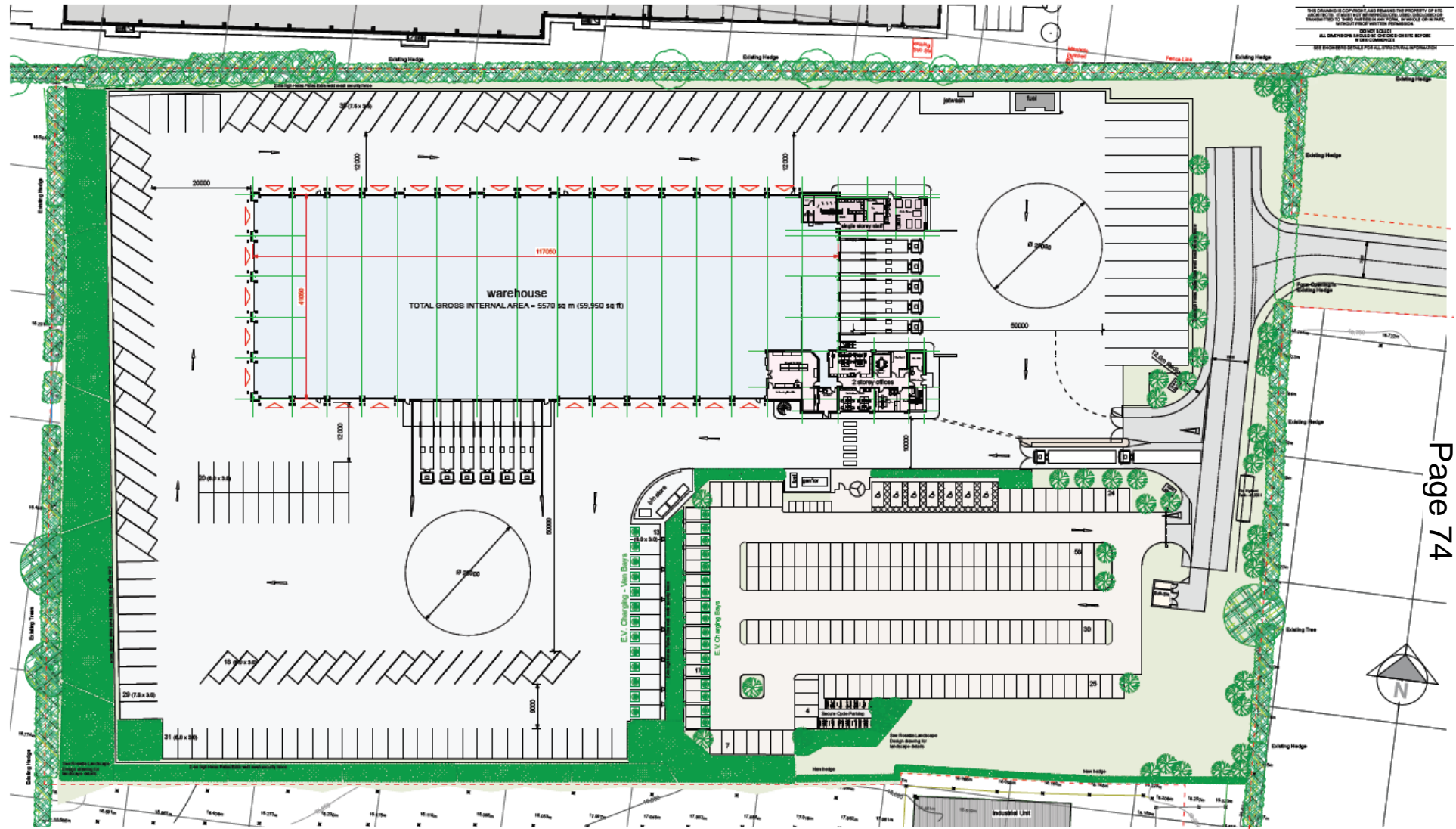
Page 72



Proposed Site Layout – Wider Context



Proposed Site Layout



Revision 2: 21.07.21 - Final design, please refer to sheets 75 & 76. 1: 21.07.21 - Landscape, Planning and Design

htcarchitects
150-152, The Arcade, York YO1 1AA
01904 611111
htcarchitects.co.uk

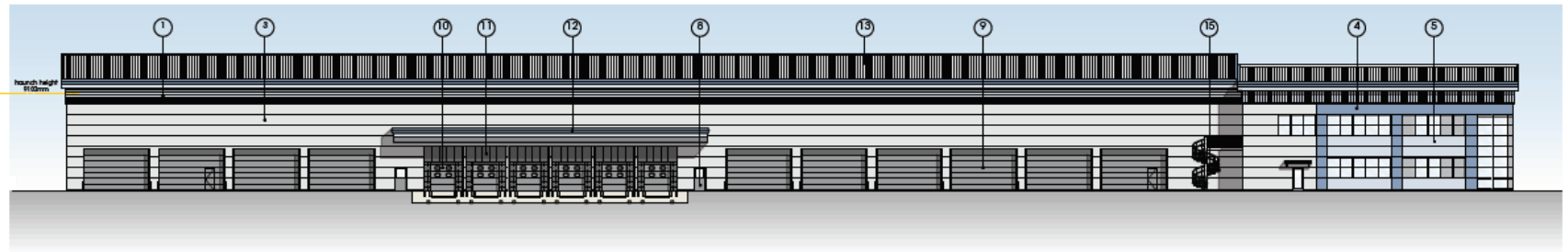
Northminster Limited
150-152, The Arcade, York YO1 1AA
01904 611111
northminster.co.uk

Proposed Distribution Facility for DPD
Northminster Business Park, York

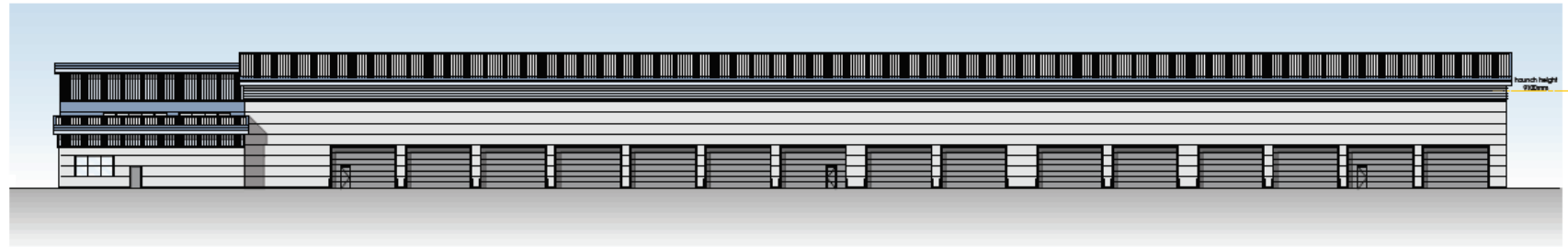
Site Layout
Scale: 1:250 @ A0
2550-P402



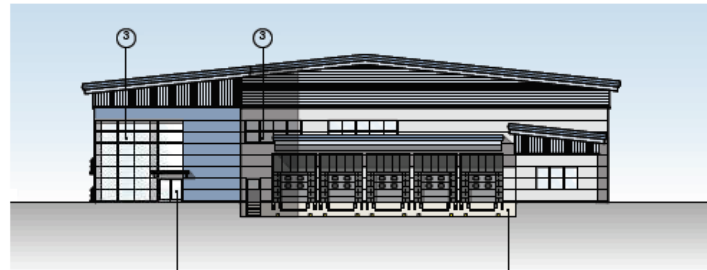
Proposed Elevations



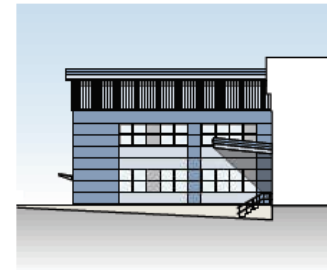
SOUTH ELEVATION



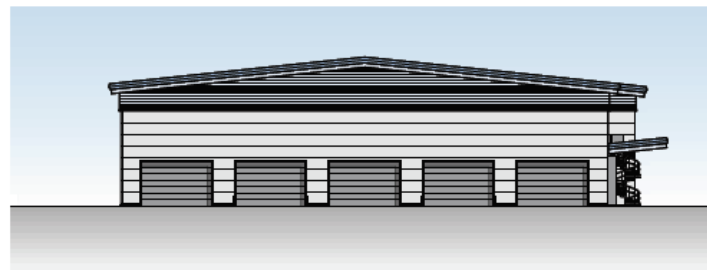
NORTH ELEVATION



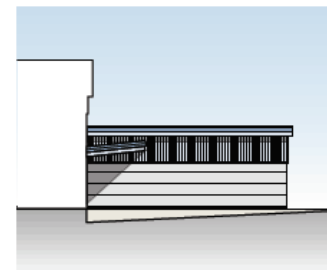
EAST ELEVATION



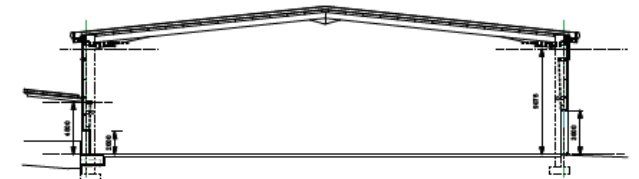
INTERNAL NORTH ELEVATION



WEST ELEVATION



INTERNAL SOUTH ELEVATION



SECTION

- ① Horizontally laid trapezoidal profiled metal wall cladding. Colour: blue grey
- ② Vertically laid trapezoidal profiled metal wall cladding. Colour: blue grey
- ③ 1000mm Kingspan 1000MR Microbri composite cladding. Colour: grey
- ④ 1000mm Kingspan 1000MR Microbri composite cladding. Colour: blue
- ⑤ 1000mm Kingspan 1000MR Microbri composite cladding. Colour: blue grey
- ⑥ The windows and curtain walling will be polyester powder coated articulated aluminium frames. Colour: Anthracite Grey (RAL 7016)
- ⑦ Polyester powder coated aluminium framed doors to match the surrounding front entrance section.
- ⑧ Rise lift doors steel faced polyester powder coated. Colour: Anthracite Grey (RAL 7016)
- ⑨ Vehicle level access doors to be insulated sectional doors polyester powder coated finish. Colour: Anthracite Grey (RAL 7016)
- ⑩ Dock level doors to be polyester powder coated finish. Colour: Anthracite Grey (RAL 7016)
- ⑪ Rigid frame dock shelters fitted with polyester continuous curtain.
- ⑫ 5m deep cantilevered galvanised steel frame and metal clad canopies to match the building.
- ⑬ Trapezoidal profiled roof cladding with rooflights. Colour: grey.
- ⑭ Concrete dock/wall.
- ⑮ Galvanised external fire escape stair.



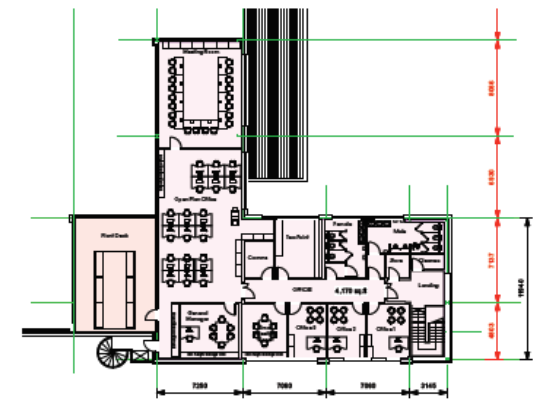
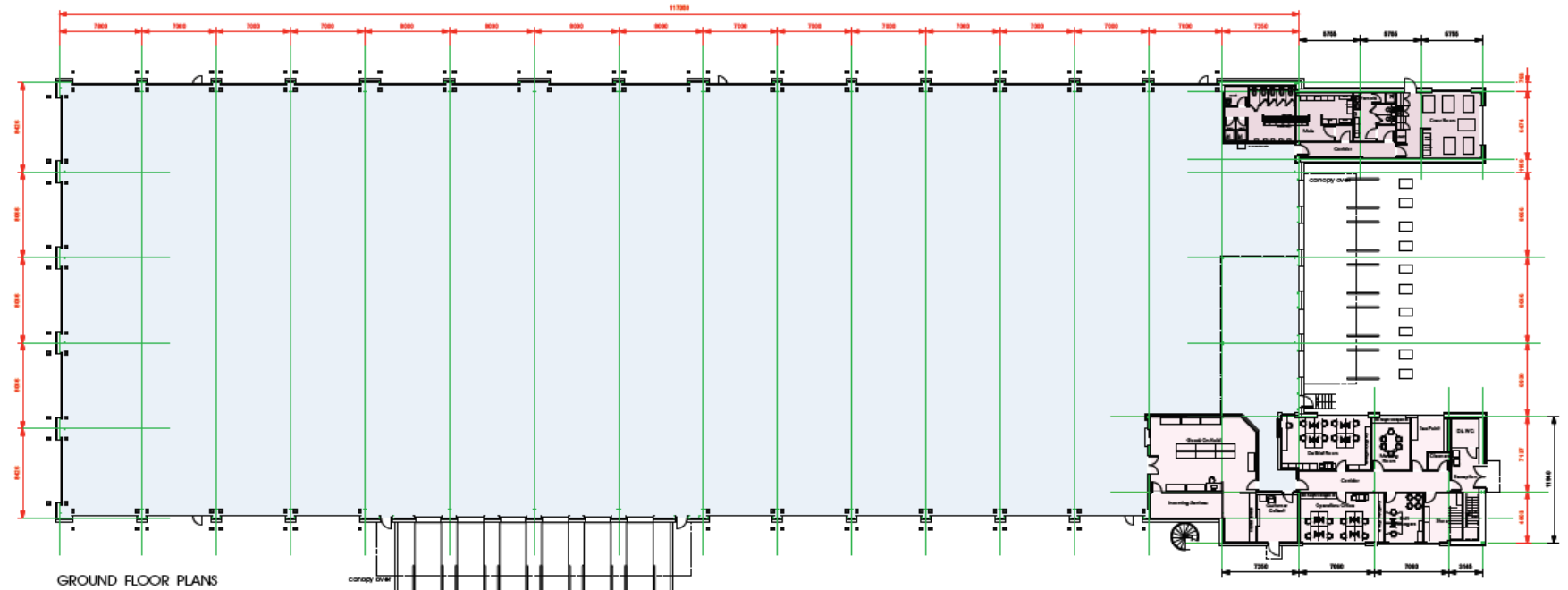
City of York Council Planning Committee Meeting - 1st July 2021



A. 14.07.21		Revised	100
Rev.	Date	Description	Drawn
htarchitects			
York Place Studio 8 Eldonville Street Leeds LS1 5SE T: 0113 244 3457			
www.htarchitects.co.uk E: info@htarchitects.co.uk			
client Northminster Ltd.			
project Proposed Distribution Facility for DPD Northminster Business Park, York			
drawing title Proposed Elevations			
date 17th March 2020			
status Planning			
scale 1: 200 @ A1			
drawn PJD checked TJC			
job no. 2552 dsg no. P.200 rev. A			

Proposed Floor Plans

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 SEE EXISTING OR FUTURE LOCAL REGULATIONS



City of York Council Planning Committee Meeting - 1st July 2021



Rev	Date	Description

htarchitects
 York Place Studio
 28 Grove Street
 LE1 2JZ
 T: 0115 244 367
 W: www.htarchitects.co.uk
 E: info@htarchitects.co.uk

client
 Northminster Ltd.

project
 Proposed Distribution Facility for DPD
 Northminster Business Park, York

drawing title
 Proposed Floor Plans

date
 16th March 2020

status
 Planning

scale
 1:200 @ A1

drawn
 JC

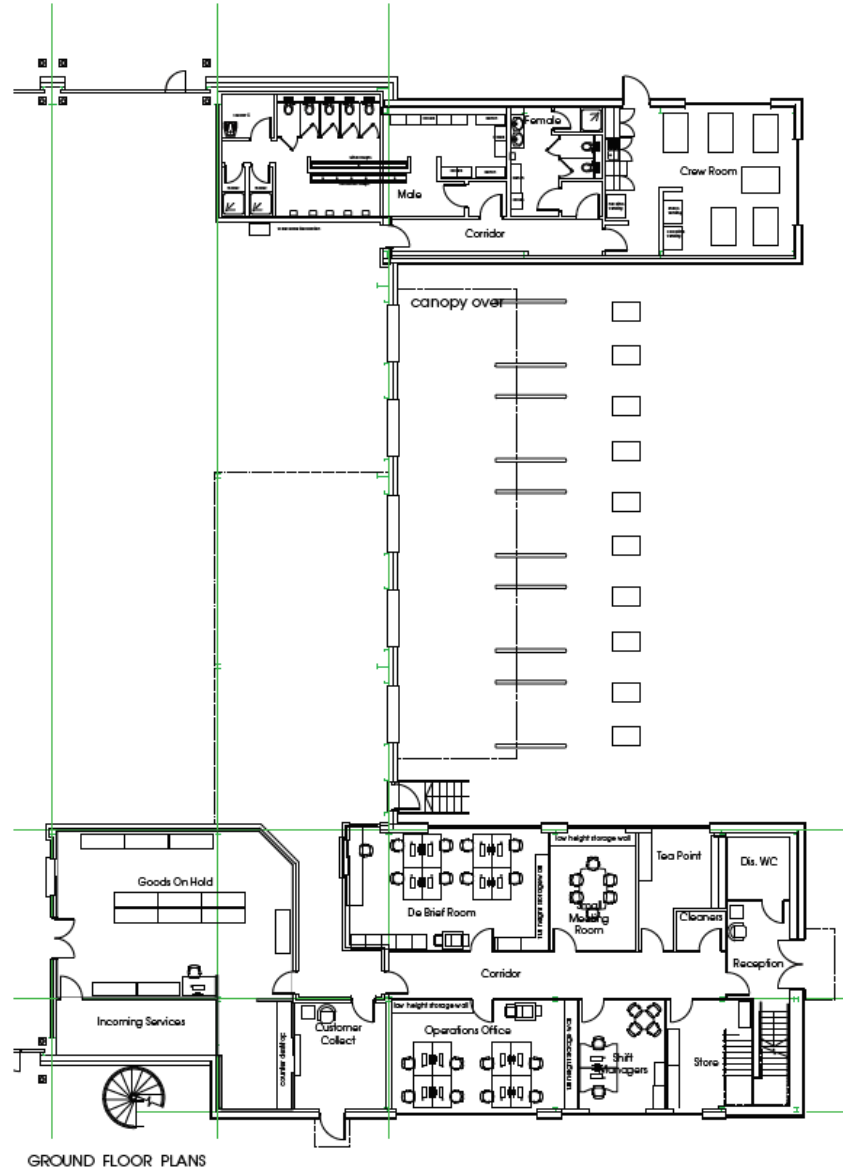
checked
 PJD

job no.
 2552

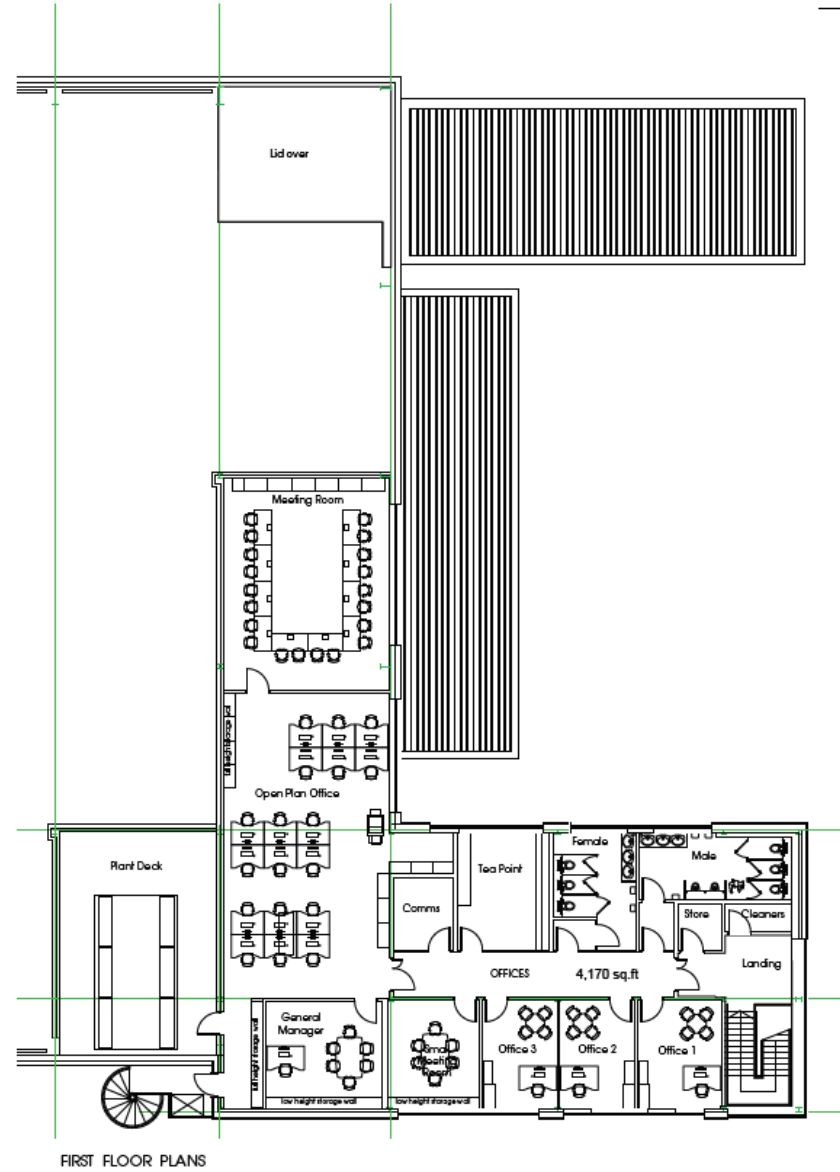
dwg no.
 P 100

rev.
 -

Proposed Floor Plans – Office and Welfare Areas



GROUND FLOOR PLANS



FIRST FLOOR PLANS

SCALE IN METRES

City of York Council Planning Committee Meeting - 1st July 2021

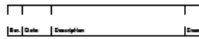


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SEE EXISTING DRAWING FOR ALL STRUCTURAL SPECIFICATIONS.



htarchitects

York House Studio
58 Barrow Street
Leeds
LS2 3JZ
Tel: 0113 244 367

W: www.htarchitects.co.uk
E: info@htarchitects.co.uk

client
Northminster Ltd.

project
Proposed Distribution Facility for DPD
Northminster Business Park, York

drawing title
Proposed Office / Welfare
Floor Plans

date
24th March 2020

status
Planning

scale
1: 100 @ A1

drawn
JC checked
PJ

job no: 2552 dwg no. P 101 rev. -

Proposed Landscaping



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This drawing has been prepared for the purpose of planning approval.

LEGEND

	Site boundary		Proposed Native Hedge Mix
	Existing tree to be retained		Proposed Native Hedge Mix 2 (see planting notes)
	Existing hedge to be retained		Proposed Native Woodland Mix
	Proposed tree Standard (Selected)		Proposed shrub mixes
	Proposed shrub bed		Proposed grass

Proposed Shrubs

Nr	Code	Plant Name	H(m)	Root	Crnt	Nbr*
103	ESQ	Eunymia boltonii 'Silver Queen'	20-30	C	5	4.00
150	HRD	Hedera helix 'Goldheart'	40-60	C	5	4.00
151	PRR	Prunella x brassai 'Red Robin'	40-60	C	5	4.00

Proposed Evergreen Shrub Mix (2.00m²)

Nr	Code	Plant Name	M ² (%)
303	PRR	Prunella x brassai 'Red Robin'	33.00
312	PR	Prunus laurocerasus 'Rotundifolia'	34.00
363	PRV	Prunella 'Spiny' Yellow'	33.00

Proposed Native Hedge Mix 2 (7.00m²)

Nr	Code	Plant Name	H(m)	Root	M ² (%)
36	Ar	Aster campestris	95-100	B	5.00
38	Cl	Corylus avellana	95-100	B	5.00
154	Car	Corylus avellana	95-100	B	20.00
221	Cr	Crataegus monogyna	95-100	B	30.00
30	Pa	Pagrus sylvatica	95-100	B	5.00
116	Pr	Prunus spinosa	95-100	B	15.00
38	Q	Quercus robur	95-100	B	5.00
39	T	Tilia cordata	95-100	B	5.00
77	V	Viburnum opulus	95-100	B	10.00

Proposed Trees

Nr	Code	Plant Name	Form	H(m)	Girth(m)	CSth(m)	Root
6	Ar	Aster campestris	Standard (Standard)	300-350	10-12	175-200	RB
20	Ag	Alnus glutinosa	Standard (Standard)	300-350	10-12	175-200	RB
10	PrP	Prunus avium 'Prest'	Standard (Standard)	300-350	10-12	175-200	RB
12	Sa	Sorbus aria	Standard (Standard)	300-350	10-12	175-200	RB
1	Sa	Sorbus aucuparia	Standard (Standard)	300-350	10-12	175-200	RB

Proposed Native Hedge Mix (5.00m², double row)

Nr	Code	Plant Name	H(m)	Root	Crnt	M ² (%)
98	Car	Corylus avellana	95-100	B	20.00	20.00
147	Cr	Crataegus monogyna	95-100	C	5	30.00
40	la	Ilex aquifolium	95-100	C	5	10.00
98	Pr	Prunus laurocerasus	95-100	B	20.00	20.00
40	Sa	Salix caprea	95-100	B	10.00	10.00
40	V	Viburnum opulus	95-100	B	20.00	20.00

Proposed Native Shrub Mix (2.00m²)

Nr	Code	Plant Name	Root	Crnt	M ² (%)
156	Car	Corylus avellana	B	20.00	20.00
150	Cr	Crataegus monogyna	B	20.00	20.00
75	la	Ilex aquifolium	C	5	10.00
75	Pr	Prunus laurocerasus	B	10.00	10.00
150	Pr	Prunus spinosa	B	20.00	20.00
75	Sa	Salix caprea	B	10.00	10.00
25	V	Viburnum opulus	B	10.00	10.00

Proposed Native Woodland Mix (1.50m²)

Nr	Code	Plant Name	H(m)	Root	M ² (%)
62	Ar	Aster campestris	95-100	B	10.00
62	Ar	Aster campestris	95-100	B	10.00
123	Ag	Alnus glutinosa	95-100	B	20.00
123	Sp	Betula pendula	95-100	B	20.00
62	PrV	Prunus sylvatica	95-100	RB	10.00
62	Pr	Prunus avium	95-100	B	10.00
31	Q	Quercus robur	95-100	B	5.00
62	Sa	Sorbus aucuparia	95-100	B	10.00
2	T	Tilia cordata	95-100	B	10.00

Planting Notes
 Topsoil shall be a minimum of 400mm depth over planting beds and graded to fall. Imported topsoil must be BS3082:2017 compliant and existing topsoil must be analysed in accordance with BS3082:2017. No cultivation should take place in wet/waterlogged conditions.
 Herbicides and cultivation: Topsoil to be treated with two applications of herbicide prior to planting, where necessary, strictly in accordance with the Control of Pesticides Regulations 1986 (as amended 1997 or otherwise, updated/superseded legislation) and following manufacturer's instructions by qualified staff. The topsoil shall then be cultivated to 150mm depth.
 Planting: All planting and laying shall conform to BS: 3038: 1992 and BS 4428: 1988.
 Trees: Standard trees to be planted in the 900x300x450mm or dimensions of rootball, whichever is greater. Trees to be supported by 110 steel (1500mm long, per tree, 900mm above ground, 75mm diameter) and 100 3rd-degreeable tie. Algalene soil improver and 50kg Erveng tie equipped to be incorporated into the soil of all new tree pits. Trees to be planted centrally within a tree pit. Trees planted within grass to have 1m diameter circle around stem kept clear of vegetation using mechanical or chemical means.
 Native Hedge Mix 2: Planted as a high row Rows 450mm apart, plants 450mm apart within each row and staggered between rows, 7 plants per metre. All tree species should be contained within the middle row and allowed to grow out when remainder of hedge is out back.
 Container grown shrubs, trees and plants: Shrubs and transplants shall be planted in pits 300x300x400mm depth, and the backfill shall include 3 litres of post-tee tree and shrub compost. Where two or more shrub species are indicated within a single bed each species shall be randomly mixed throughout the bed in groups of 3/5.
 Herbicide: Spot treat with herbicide throughout the maintenance period in accordance with the manufacturer's instructions.
 Metic: Planting beds to receive 75mm depth polished ornamental bark mulch. Native woodland/planting to be planted with 80kg fine fibre mulch mat pinned to soil. Native hedges to be planted through 80kg fine fibre mulch mat, edges locked. Ensure the top of the mulch layer is a minimum of 15mm below adjacent pavements and other surfaces, to prevent spillage.
 Plant position: Final position of trees and shrubs subject to confirmation of service location and approval of statutory undertakers.
 Protection to planting: Native hedge/planting to be protected by spiral collars. Native trees and shrubs within mixes to be protected by shade guards as supplied by Acorn Planting Products Ltd (01508 528793), or equivalent.
 (Draws: All hatched areas to be cultivated and levelled as required retaining any stones, rubble, subsoil, general levelling materials.
 Planting Season: Bare-root plants to be planted between mid-November and mid-March dependent upon the planting species.

Rev B: Revised to Council's comments - 14Jun21 (MP/j)
 Rev A: Grass margin along access road widened to site boundary at Client's request - 25Mar21 (MP/j)
 Base: HTC Architects, 'Overall Site Plan', 2552-PL-401 Rev B received 17Mar21

PROJECT	Proposed Distribution Facility, Northminster Business Park, York
TITLE	Detailed Landscaping Proposals
CLIENT	Northminster Properties Ltd
DATE	18 Mar 21
DRAWN	MP/j
CHECKED	MP
SCALE	1:500
SHEET	A1
DRAWING NO	13/27/1
REVISION	B

